



LAKE + LAND

GENERAL NOTES

1. THE CONTRACTOR SHALL FULLY COMPLY WITH THE MOST CURRENT IBC AS WELL AS ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE MOST CURRENT IEC AND IMC SHALL BE USED. THE CONTRACTOR SHALL BE LIABLE FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES INVOLVED.
2. THE CONTRACTOR SHALL USE ONLY WRITTEN DIMENSIONS, OR THOSE OTHERWISE DIRECTLY INDICATED BY LAKE AND LAND STUDIO, LLC. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND FOR THE CONDITIONS ON THE JOB.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.
4. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DETAILS CONTAINED WITHIN THE DESIGN PLANS, PRIOR TO THE INITIATION OF CONSTRUCTION. ANY SUSPECTED ERRORS, INCONSISTENCIES, AND/OR POTENTIAL DETAIL OMISSIONS ARE TO BE REPORTED TO LAKE AND LAND STUDIO, LLC FOR CLARIFICATION. THE CONTRACTOR SHALL NOT WORK WITHOUT CORRECT DESIGN PLANS. LAKE AND LAND STUDIO, LLC WILL NOT BE RESPONSIBLE FOR ANY IMPLICATIONS THAT RESULT SECONDARY TO A CONTRACTOR OR SUBCONTRACTOR'S CONSTRUCTION MEANS AND METHODS OR ACTS THAT ARE NOT COMPLETED IN ACCORDANCE WITH DESIGN PLANS.
5. THESE DESIGN PLANS ARE PROPERTY OF LAKE AND LAND STUDIO, LLC AND ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. USE OF THE DESIGN PLAN INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR ONE-TIME USE ONLY, AS OUTLINED WITHIN THE DESIGN PLAN PURCHASE AGREEMENT. ANY DUPLICATION, PUBLICATION, DISTRIBUTION, AND/OR SALE OF ANY PART(S) OF THE PLANS IS STRICTLY PROHIBITED. ANY UNAUTHORIZED USE OF THE COPYRIGHTED MATERIAL REPRESENTS A VIOLATION OF FEDERAL LAW AND IS SUBJECT TO THE PRESCRIBED PENALTIES UNLESS PRIOR WRITTEN PERMISSION FOR USE IS GRANTED BY LAKE AND LAND STUDIO, LLC.
6. PURCHASE AGREEMENT:
PURCHASE OF THESE DESIGN PLANS GRANTS THE BUYER THE RIGHT TO USE DOCUMENTS CONTAINED WITHIN FOR THE CONSTRUCTION OF A SINGLE HOME. THE BUYER ACKNOWLEDGES THAT THE TITLE, DESIGN PLANS (AND DERIVATIVES THEREOF), INTEREST IN COPYRIGHTS, AND ALL OTHER RIGHTS OF OWNERSHIP REMAIN WITH LAKE AND LAND STUDIO, LLC. ANY DESIGN PLAN MODIFICATIONS ARE CONSIDERED TO BE DERIVATIVES OF THE ORIGINAL AND ARE PROTECTED WITHIN THE COPYRIGHT PARAMETERS PREVIOUSLY STATED. PLAN DERIVATIVES MAY NOT BE SOLD, COPIED, OR USED FOR CONSTRUCTION OF ANY OTHER RESIDENCE.
7. LAKE AND LAND STUDIO, LLC WILL NOT BE HELD RESPONSIBLE FOR ANY FAULT RESULTING FROM UNAUTHORIZED USE OF ANY PART(S) OF THESE DESIGN PLANS (OR ANY AFTER-PURCHASE DESIGN MODIFICATIONS) IN ANY CONSTRUCTION OR BUILDING ACT.
8. LAKE AND LAND STUDIO, LLC RESERVES THE RIGHT TO MAKE MODIFICATIONS TO DESIGN PLANS, DRAWINGS, AND/OR MODELS AT ANY TIME. DETAILS IN IMAGES USED FOR MARKETING PURPOSES ON WEBSITES OR IN CATALOGS MAY NOT MATCH DESIGN PLANS EXACTLY.
9. LIMITATION OF LIABILITY:
LAKE AND LAND STUDIO, LLC SHALL NOT BE LIABLE FOR ANY SPECIAL, CONSEQUENTIAL, INCIDENTAL, OR INDIRECT DAMAGES ARISING FROM USE OF THE PLANS INCLUDING, BUT NOT LIMITED TO, DAMAGES FOR LOSS OF ANTICIPATED PROFITS OR LOSS OF BUSINESS OPPORTUNITY. TO THE EXTENT PERMITTED BY LAW, LIABILITY OF LAKE AND LAND STUDIO, LLC SHALL BE LIMITED TO THE RETAIL PRICE OF THE PLANS.
10. BUILDING CODES VARY BY LOCATION DUE TO VAST DIFFERENCES IN GEOGRAPHICAL AND CLIMATE RELATED FACTORS THAT IMPACT CONSTRUCTION. EACH STATE, COUNTY, AND MUNICIPALITY HAS ITS OWN RESPECTIVE BUILDING CODES, ZONE REQUIREMENTS, AND ORDINANCES FOR BUILDING REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO THE NECESSARY STATE, COUNTY, AND LOCAL OFFICIALS FOR PERMITTING OF CONSTRUCTION OF THIS PROJECT. DESIGN PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS REGARDING SNOW LOADS, ENERGY CODES, SOIL AND SEISMIC CONDITIONS, AND NUMEROUS OTHER VARIABLE FACTORS. IT IS THE BUYER'S RESPONSIBILITY TO CONSULT WITH APPROPRIATE LOCAL CONSTRUCTION PROFESSIONALS (ARCHITECTS, ENGINEERS) TO DETERMINE IF PLANS COMPLY WITH CODES GOVERNING THE BUYER'S BUILDING SITE AND, IF NECESSARY, TO SEE THAT APPROPRIATE MODIFICATIONS ARE MADE TO PLANS PRIOR TO CONSTRUCTION.

LOT 59

CRANE ISLAND, FL | LOT #59



DRAWING INDEX

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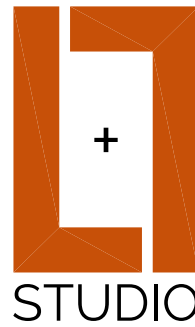
SYMBOL KEY

	DOOR LABEL
	WINDOW LABEL
	INTERIOR ELEVATION LABEL
	ANNOTATION
	BREAK LINE
	HIDDEN OR INVISIBLE LINE
	ELEVATION DATUM LINE
	SECTION CUT LINE

SQUARE FOOTAGE

CONDITIONED SPACE		UNCONDITIONED SPACE	
MAIN HOUSE		FRONT PORCH	342 SF
FIRST FLOOR	1985 SF	BREEZEWAY/SCREEN PORCH	559 SF
SECOND FLOOR	1188 SF	BALCONY	342 SF
THIRD FLOOR	797 SF	CARRIAGE HOUSE FIRST FLOOR	741 SF
TOTAL	3,970 SF	TOTAL	1,984 SF
CARRIAGE HOUSE		TOTAL UNDER ROOF SF	
FIRST FLOOR	0 SF		
SECOND FLOOR	486 SF		
TOTAL	486 SF		

6,440 SF



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DRAWINGS BE REVIEWED AND
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ARCHITECT OR STRUCTURAL
ENGINEER. INCLUDED DRAWINGS
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SHEET TITLE
COVER PAGE

PROJECT DESCRIPTION:
Lot 59
CRANE ISLAND | LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:

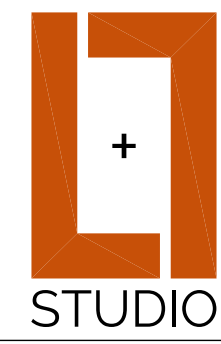
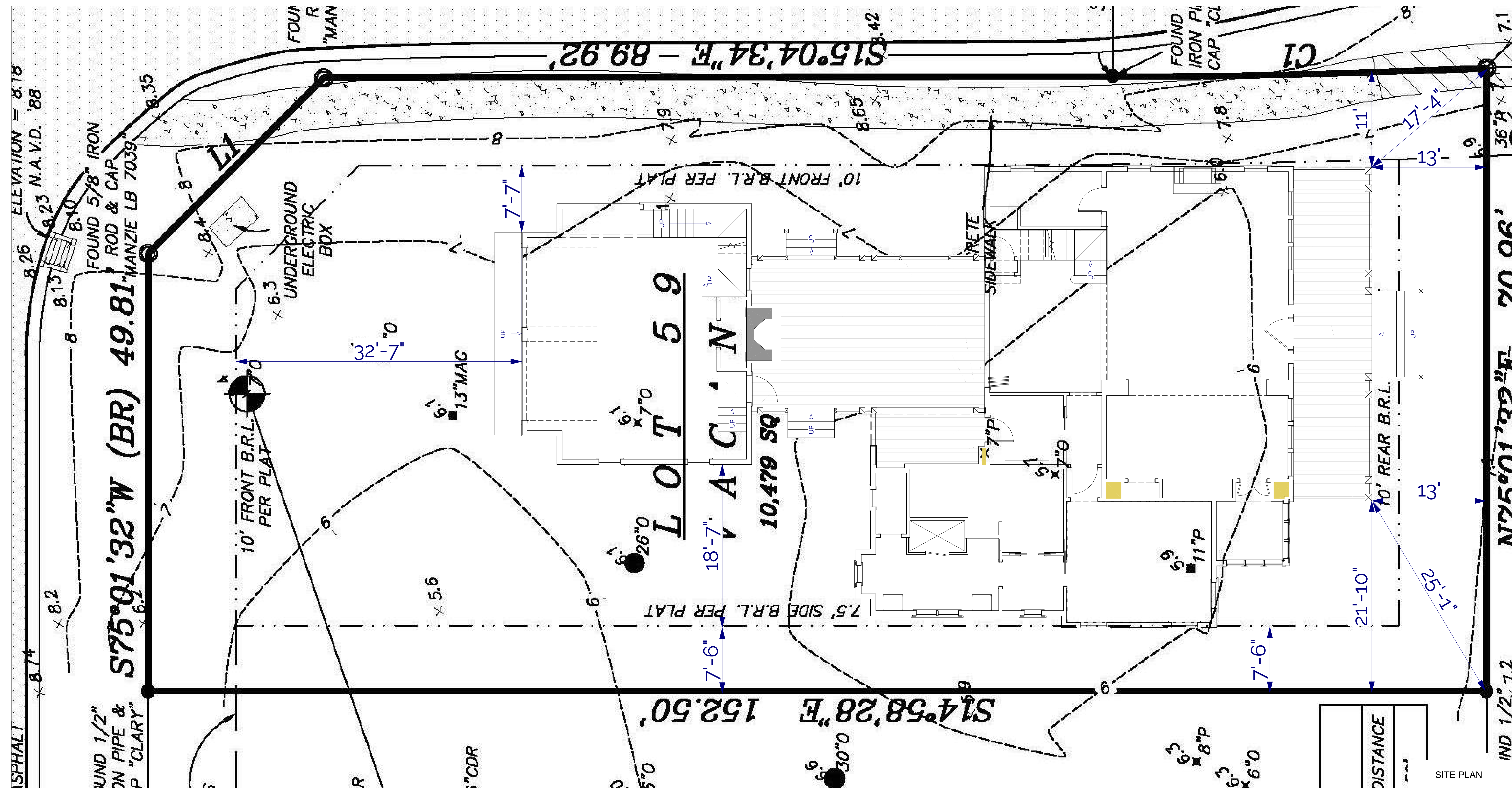
5/8/20

SCALE:

NO SCALE

SHEET:

COVER
PAGE



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SHEET TITLE:
SITE PLAN

PROJECT DESCRIPTION:
Lot 59
CRANE ISLAND | LO

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

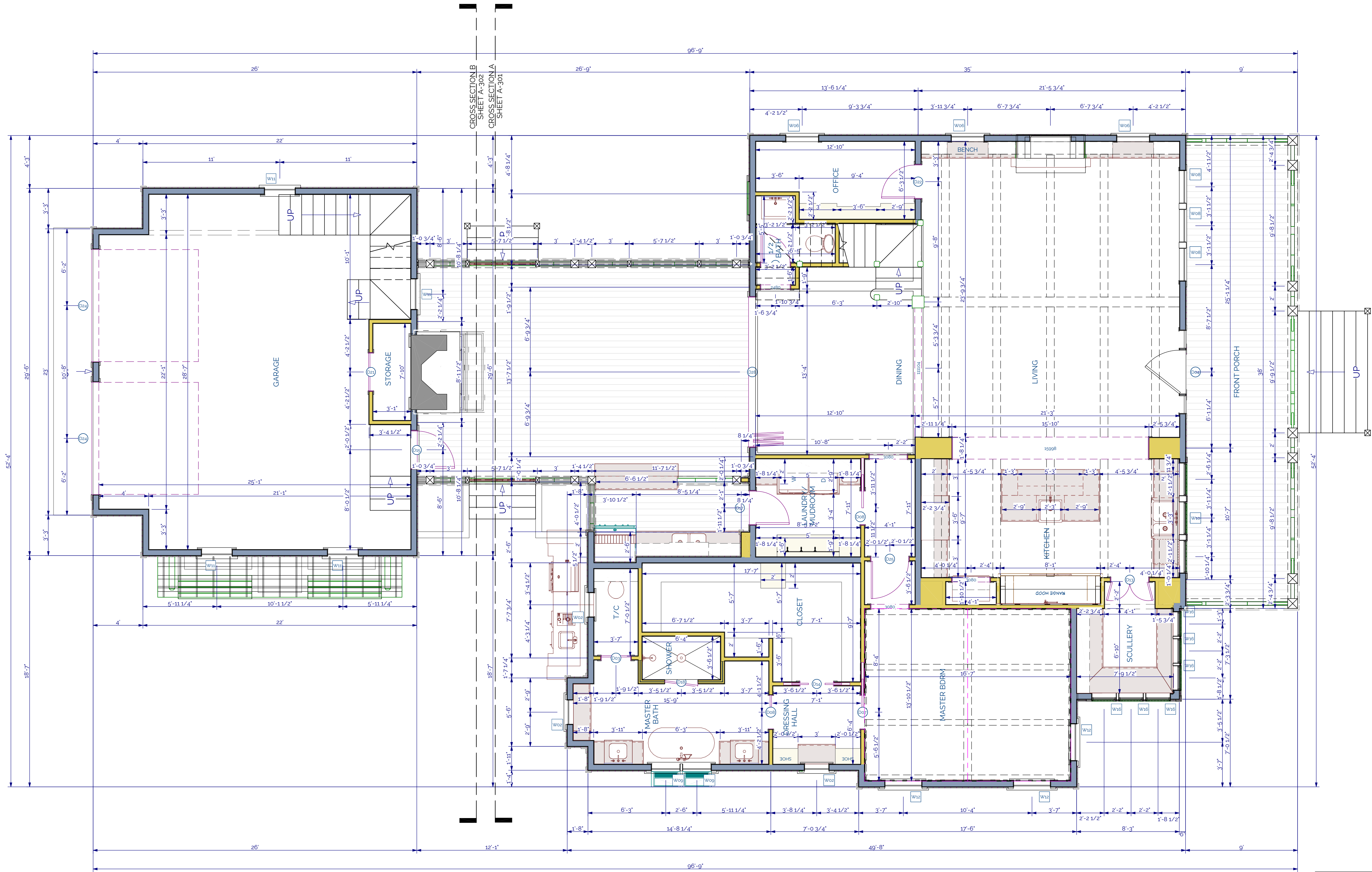
5/8/20

SCALE

$$1/4'' = 1' - 0$$

SHEET

C-101



LIVING AREA
1986 SQ FT

FIRST FLOOR PLAN

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ SIDING
	EXTERIOR 2X6 WALL W/ SIDING
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING



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SHEET TITLE
FIRST FLOOR PLAN

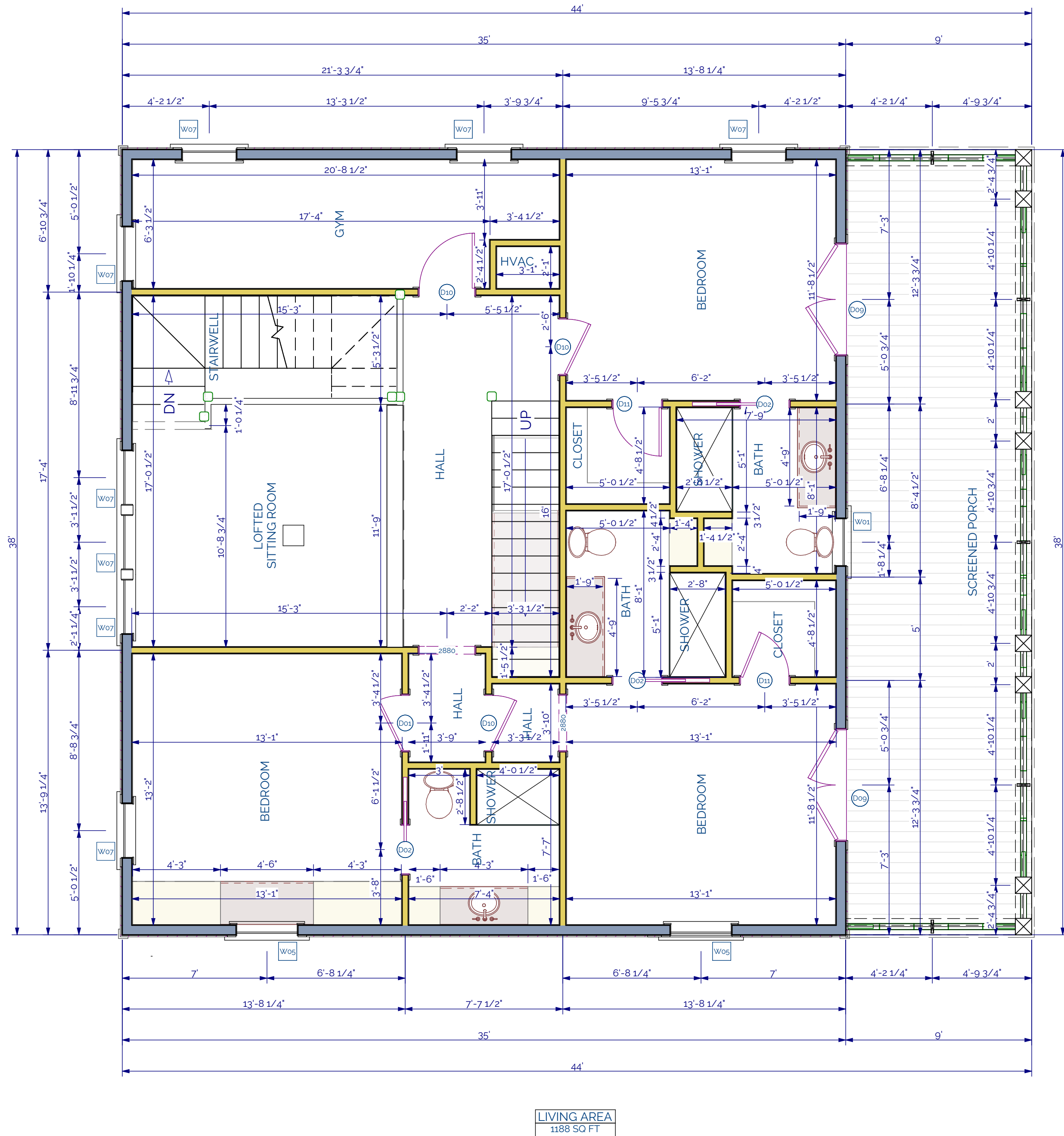
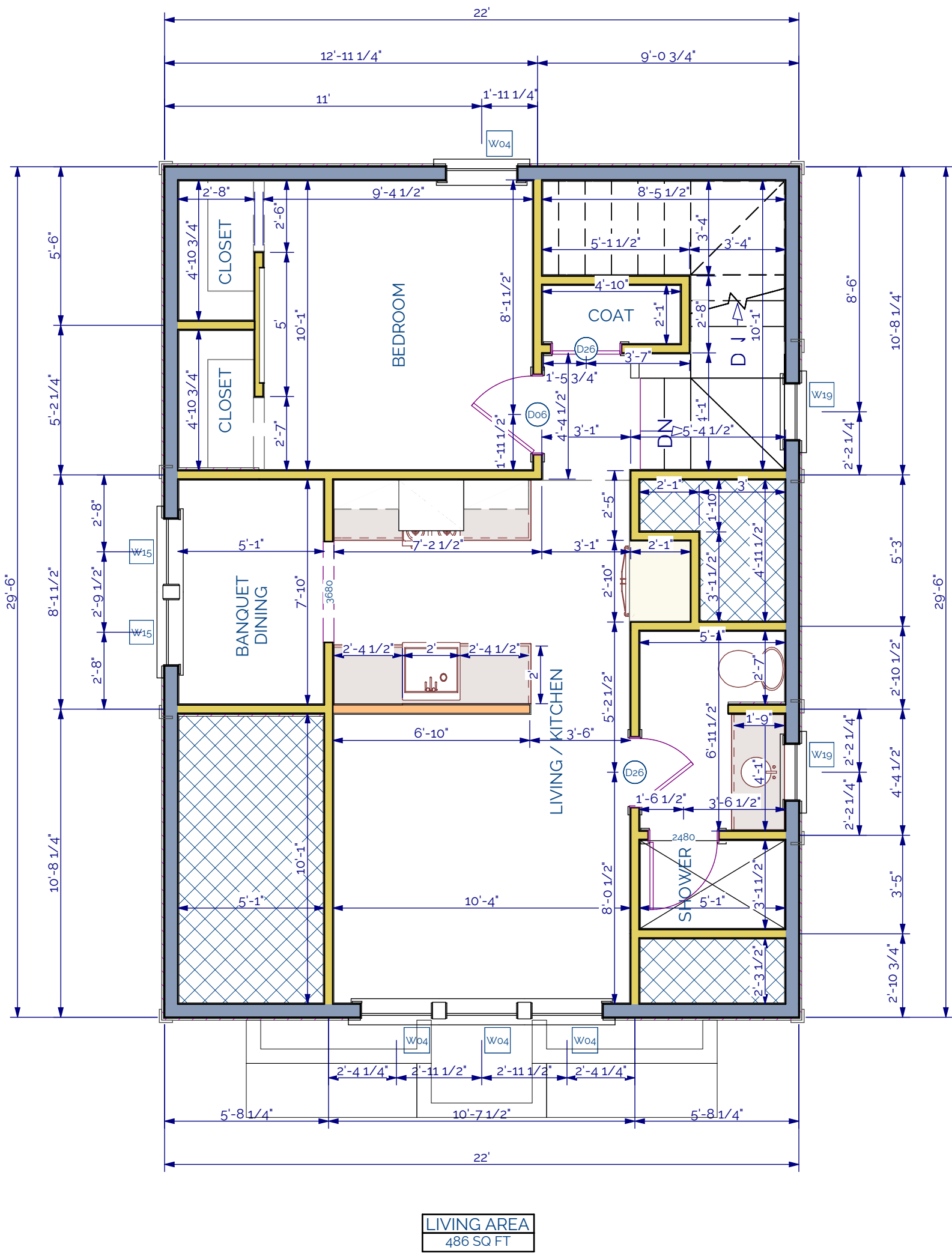
PROJECT DESCRIPTION:
Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:
5/8/20

SCALE:
1/4"=1'-0"

SHEET:
A-101



SECOND FLOOR PLAN

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ SIDING
	EXTERIOR 2X6 WALL W/ SIDING
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING



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SHEET TITLE
SECOND FLOOR PLAN

PROJECT DESCRIPTION:
Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:
5/8/20

SCALE:
1/4"=1'-0"

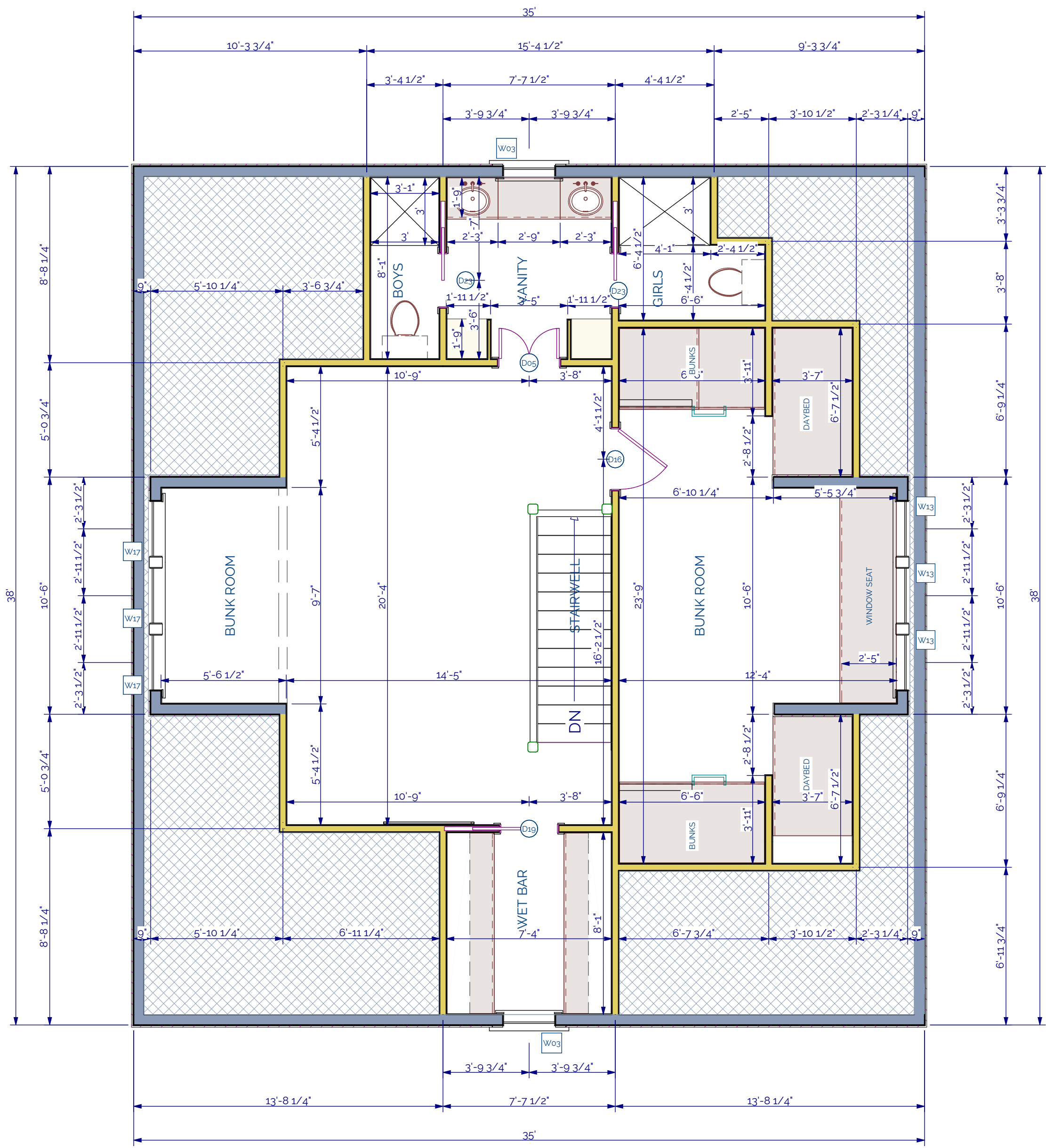
SHEET:
A-102

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	2880	1	2	2880 L IN	32"	96"
D02	2480	3	2	2480 R	28"	96"
D03	2480	1	1	2480 L IN	28"	96"
D04	68100MU	1	1	68100	80"	120"
D05	2868	1	3	2868 L/R IN	32"	80"
D06	2868	1	2	2868 L IN	32"	80"
D07	2880	1	1	2880 R	32"	96"
D08	2880	2	1	2880 L	32"	96"
D09	5480	2	2	5480 L/R EX	64"	96"
D10	2880	3	2	2880 R IN	32"	96"
D11	2480	3	2	2480 L IN	28"	96"
D12	2470	1	1	2470 L IN	28"	84"
D13	3080	1	1	3080 L/R IN	36"	96"
D14	2880	1	1	2880 L/R	32"	96"
D15	3070	1	1	3070 R EX	36"	84"
D16	2868	1	3	2868 L IN	32"	80"
D17	2880	1	1	2880 R EX	32"	96"
D18	2880	1	1	2880 R IN	32"	96"
D19	2670	1	3	2670 R	30"	84"

D21	3080	1	1	3080 L IN	36"	96"
D22	2880	1	1	2880 L IN	32"	96"
D23	2480	2	3	2480 L	28"	96"
D24	9080	2	1	9080	108"	96"
D25	3080	1	1	3080 R IN	36"	96"
D26	2468	2	2	2468 R IN	28"	80"
D28	12090	1	1	12090 R EX	144"	108"

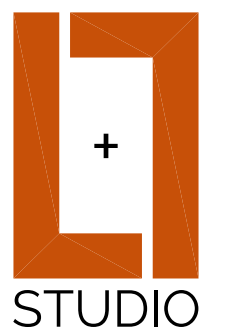
WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
W01	2446SH	1	2	2446SH	28"	54"
W02	2046SH	3	1	2046SH	24"	54"
W03	2450SH	2	3	2450SH	28"	60"
W04	2656SH	4	2	2656SH	30"	66"
W05	3060SH	2	2	3060SH	36"	72"
W06	2884MU	3	1	2884	32"	100"
W07	2860SH	8	2	2860SH	32"	72"
W08	28100TH	3	1	28100TH	32"	120"
W09	2456SH	2	1	2456SH	28"	66"
W10	81168MU	1	1	81168	106 5/8"	80"
W11	2660SH	4	1	2660SH	30"	72"

W12	3066SH	3	1	3066SH	36"	78"
W13	2650SH	3	3	2650SH	30"	60"
W15	2456SH	2	2	2456SH	28"	66"
W16	2056FX	6	1	2056FX	24"	66"
W17	2650SC	3	3	2650SC	30"	60"
W19	2036FX	2	2	2036FX	24"	42"



THIRD FLOOR PLAN

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ SIDING
	EXTERIOR 2X6 WALL W/ SIDING
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING



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SHEET TITLE
THIRD FLOOR PLAN +
SCHEDULES

PROJECT DESCRIPTION:
Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:
5/8/20

SCALE:
1/4"=1'-0"

SHEET:
A-103



SHEET TITLE:
EXTERIOR ELEVATION

PROJECT DESCRIPTION:

Lot 59
CRANE ISLAND | LOT #59

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC
116 Bellegrass Blvd
Hattiesburg, MS 39402

DRAWINGS PROVIDED BY:
LAKE AND LAND S-
16 Bellegrass Blvd
Hattiesburg MS 39402

DATE _____

5/8/20

SCALE

$$1/4'' = 1' - 0$$

SHEET

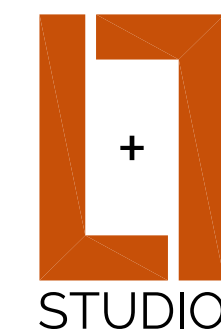
A-201



PARK ELEVATION



NORTH ELEVATION
CARRIAGE HOUSE



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SHEET TITLE:
EXTERIOR ELEVATION

PROJECT DESCRIPTION:
Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:

5/8/20

SCALE:

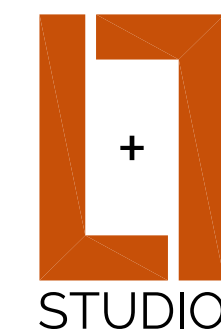
1/4"=1'-0"

SHEET:

A-202



RIGHT ELEVATION



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SHEET TITLE:
EXTERIOR ELEVATION

PROJECT DESCRIPTION:

Lot 59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

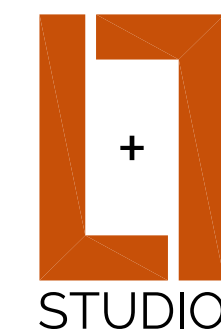
5/8/20

SCALE:

1/4"=1'-0"

SHEET:

A-203



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SHEET TITLE:
EXTERIOR ELEVATION

PROJECT DESCRIPTION:
Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

5/8/20

SCALE:

1/4"=1'-0"

SHEET:

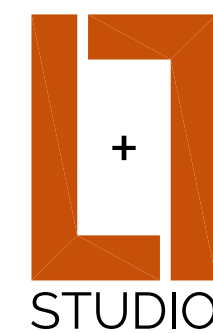
A-204



WEST ELEVATION



SECTION A
BACK OF HOUSE



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SHEET TITLE
BUILDING SECTION

PROJECT DESCRIPTION:

Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601-336-8114
info@lakeandlandstudio.com

DATE:

5/8/20

SCALE:

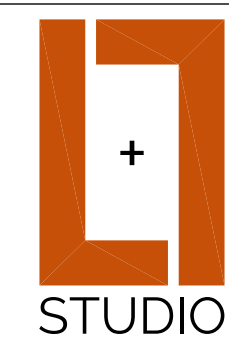
1/4"=1'-0"

SHEET:

A-301



SECTION B
FRONT OF CARRIAGE HOUSE



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SHEET TITLE
BUILDING SECTION

PROJECT DESCRIPTION:

Lot #59
CRANE ISLAND LOT #59

DRAWINGS PROVIDED BY:

LAKE AND LAND STUDIO, LLC
16 Bellegras Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

5/8/20

SCALE:

1/4"=1'-0"

SHEET:

A-302





1 FIRST FLOOR PLAN

A2.0 1/8" = 1'-0"

BUILDING AREAS

1st Floor Heated	2,140 S.Q. FT.
2nd Floor Heated	1,148 S.Q. FT.
Total Heated House	3,288 S.Q. FT.
Unheated Carriage	868 S.Q. FT.
Total Carried Area	4,156 S.Q. FT.

SHEET:	PROJECT:	DATE:	APR. 30, 2019
			 MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17401 E. 17th Ave., Suite 100 Fort Lauderdale, FL 33316 PHONE: (954) 379-5800 email: info@moserdesigngroup.com
A2.0	PARK HOUSE LOT #76 CHANNAH AND BERNARD BEACH, FLORIDA	REVISIONS:	FOR CONSTRUCTION



1
A2.1
SECOND FLOOR PLAN
1/4" = 1'-0"

SHEET:	PROJECT:	DATE:	APR. 30, 2019 
PARK HOUSE LOT 756 CRANESLAND BERNARD BEACH, FLORIDA	MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17 MARKET NO. 2 • BEAUFORT, NC 28506 info@moserdesigngroup.com PHONE (813) 379-5630	MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17 MARKET NO. 2 • BEAUFORT, NC 28506 info@moserdesigngroup.com PHONE (813) 379-5630	MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17 MARKET NO. 2 • BEAUFORT, NC 28506 info@moserdesigngroup.com PHONE (813) 379-5630



1 PARK ELEVATION
A3.0 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A3.0 1/4" = 1'-0"

DATE:	APR. 30, 2019 MDG
PROJECT:	MOSER DESIGN GROUP, INC. 1700 N. W. 10th Ave., Suite 100 Fort Lauderdale, FL 33304 Phone: (954) 370-5000 Fax: (954) 370-5001 www.moserdsgroup.com
SHEET:	A3.0
PROJECT:	PARK HOUSE LOT 10 RENEWAL SET NOT FOR CONSTRUCTION



1
A3.1
REAR ELEVATION
10' x 10'



3
A3.1
LEFT SIDE ELEVATION
16' x 10'

DATE:	APR. 30, 2019
	M&G MOSER DESIGN GROUP, INC. ARCHITECTS 1000 S. W. 10TH AVE. MIAMI, FL 33135 PHONE: (305) 575-1000
PROJECT:	PARK HOUSE LOT 100
	1000 S. W. 10TH AVE. MIAMI, FL 33135
SHEET:	A3.1
	REAR VIEW

NOT FOR CONSTRUCTION

MOSER DESIGN GROUP, INC. ARCHITECTS
1000 S. W. 10TH AVE.
MIAMI, FL 33135
PHONE: (305) 575-1000

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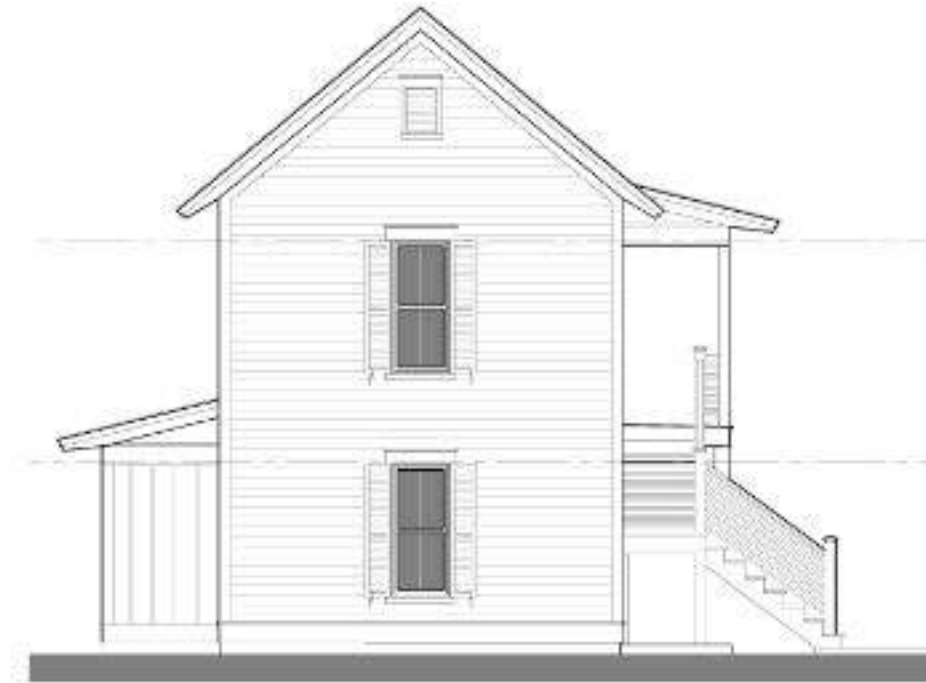
1 PARK ELEVATION
A3.2



1 LANE ELEVATION
A3.2



2 RIGHT SIDE ELEVATION
A3.2



2 LEFT SIDE ELEVATION
A3.2

DATE: APR. 30, 2019	
	
MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17401 W. 11th Ave. #200 Fort Lauderdale, FL 33309 PHONE: (954) 379-5800 email: mdesigngroup@protonmail.com	
REVISIONS	
SHEET: PROJECT: PARK HOUSE LOT 176 17401 W. 11th Ave. #200 Fort Lauderdale, FL 33309 PHONE: (954) 379-5800 email: mdesigngroup@protonmail.com	
A3.2	



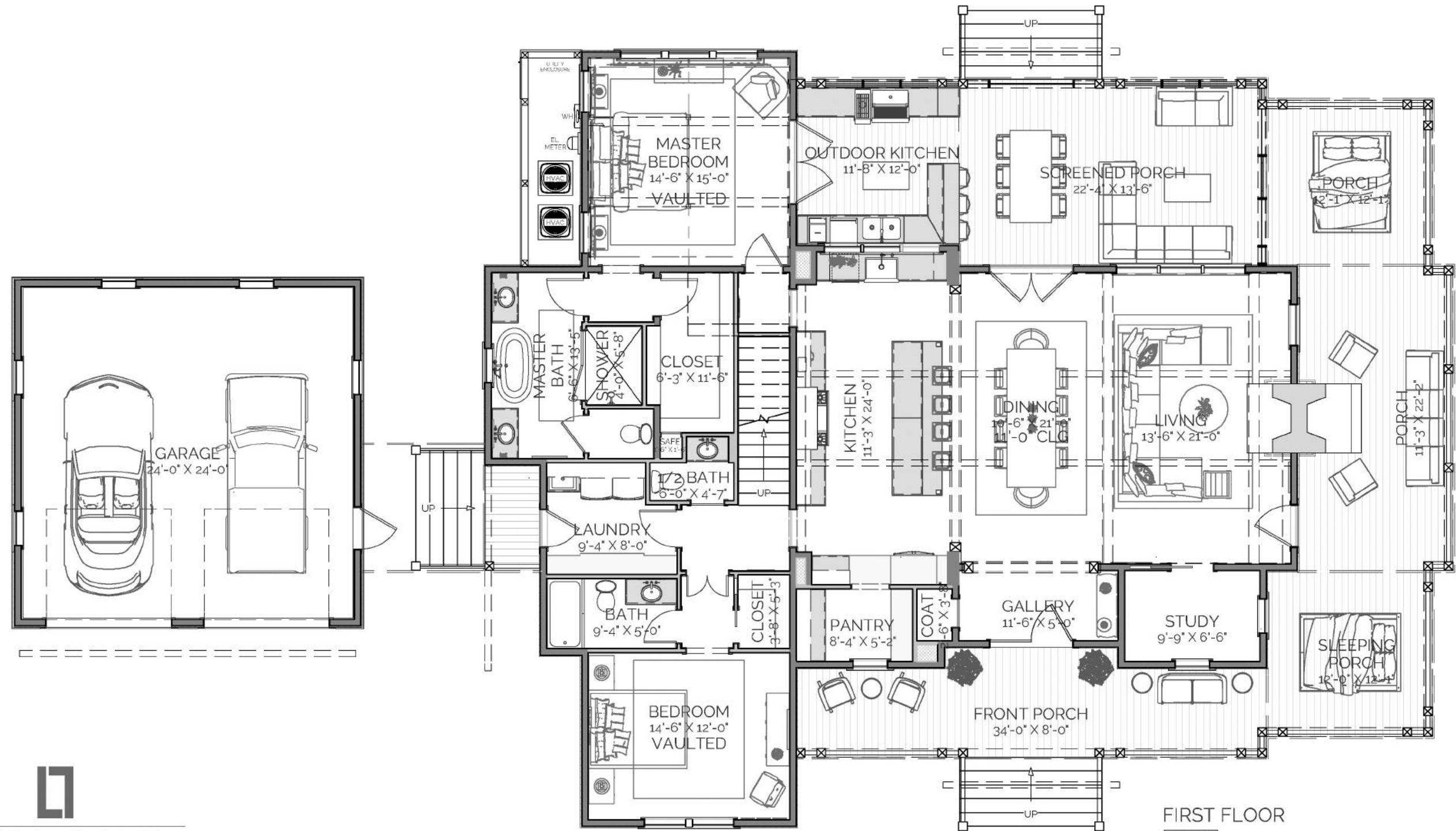












FIRST FLOOR

LIVING AREA
2037 SQ FT



LAKE + LAND
DESIGN STUDIO



SECOND FLOOR

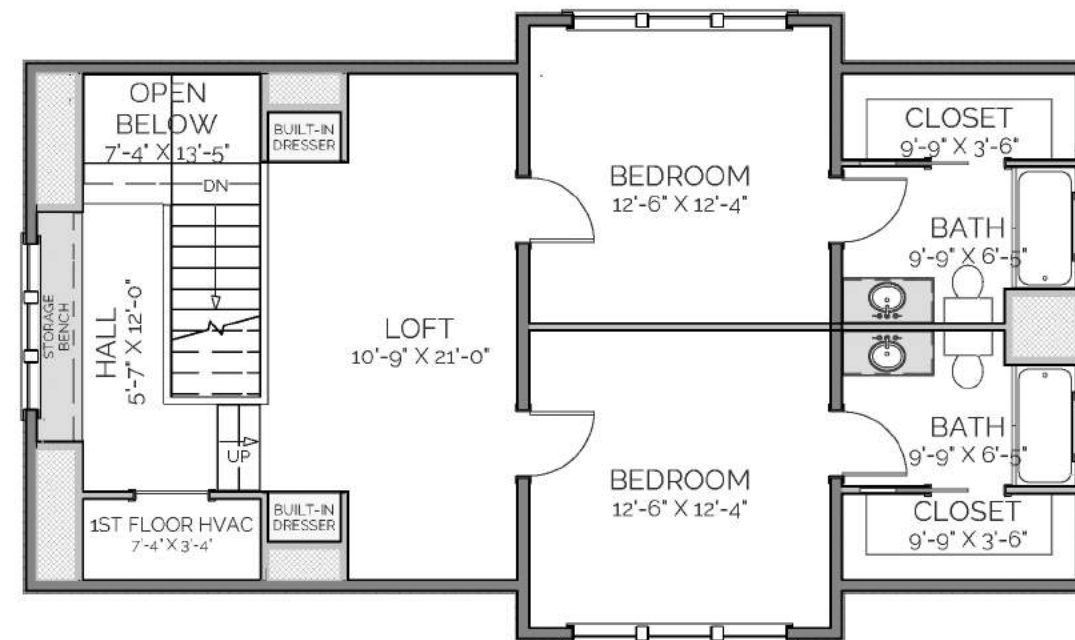
LIVING AREA
879 SQ FT



LAKE + LAND
DESIGN STUDIO



LAKE + LAND
DESIGN STUDIO



SECOND FLOOR

LIVING AREA
879 SQ FT



LAKE + LAND
DESIGN STUDIO











LAKE + LAND



LAKE + LAND
DESIGN STUDIO





PROTOTYPE COTTAGE DESIGNS
CRANE ISLAND, FL

Conceptual Design / November 26, 2019



CONCEPTUAL CHARACTER IMAGERY



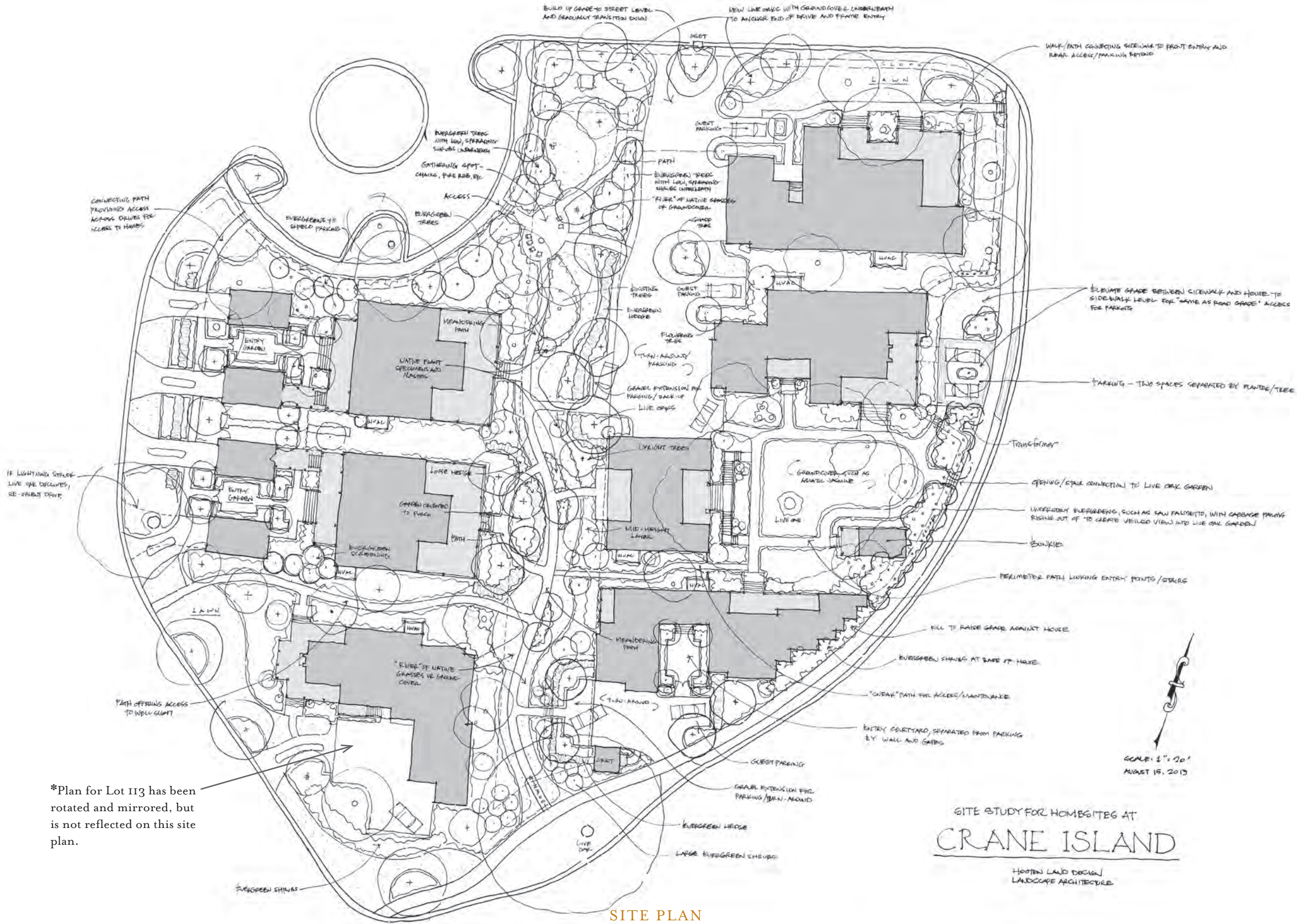
CONCEPTUAL CHARACTER IMAGERY



CONCEPTUAL CHARACTER IMAGERY



CONCEPTUAL INTERIOR IMAGERY



*Plan for Lot 113 has been rotated and mirrored, but is not reflected on this site plan.

SITE PLAN
SCALE: 1/50" = 1'-0"



LOT 107 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



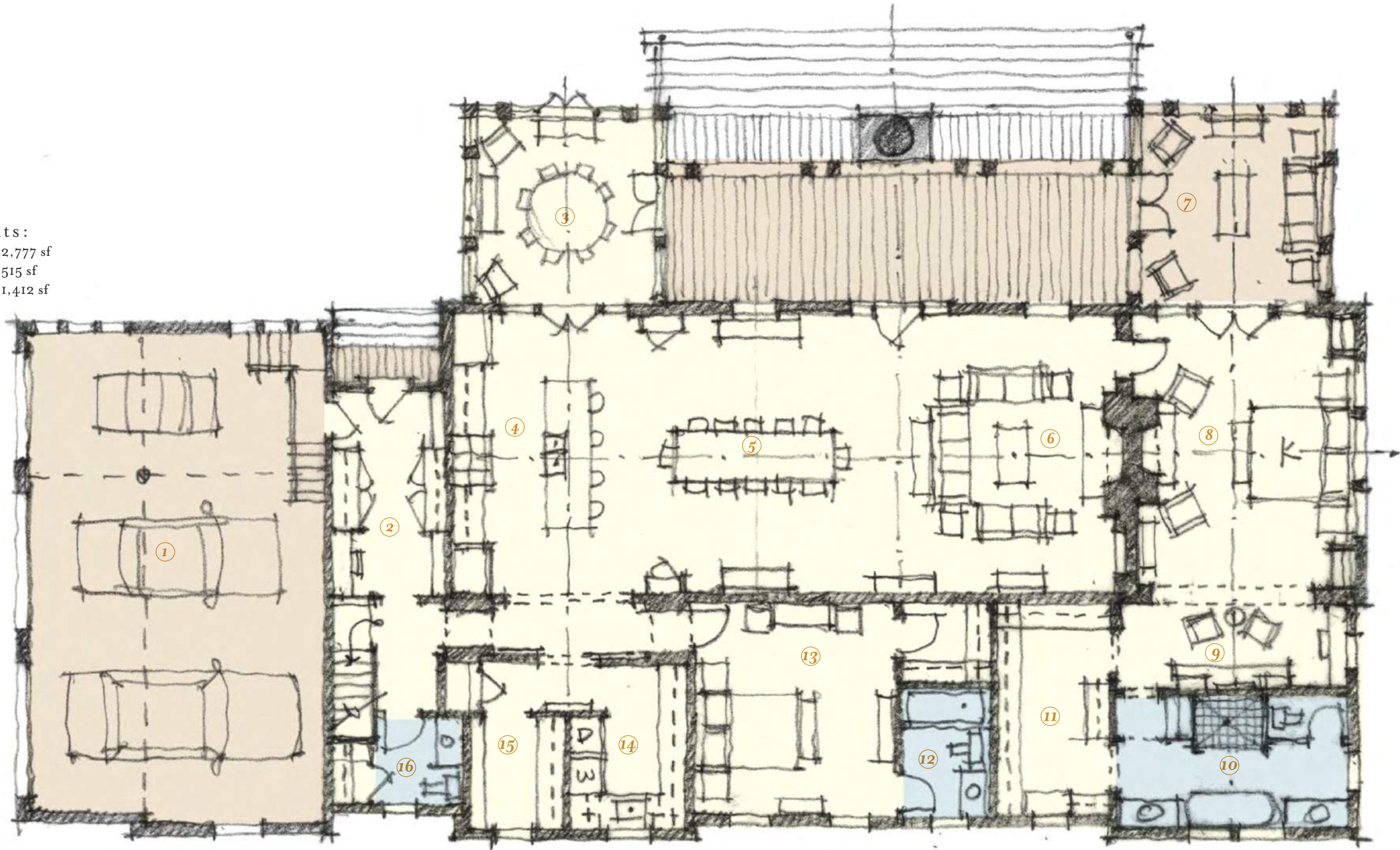
LOT 107 - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN KEY:

- 1. Garage
- 2. Mud Room
- 3. Breakfast Room
- 4. Kitchen
- 5. Dining
- 6. Living Room
- 7. Screened Porch
- 8. Master Sitting
- 9. Master Bedroom
- 10. Master Bath
- 11. Master Closet
- 12. Guest Bath
- 13. Guest Bedroom
- 14. Laundry
- 15. Pantry
- 16. Powder

Square Footage Counts:

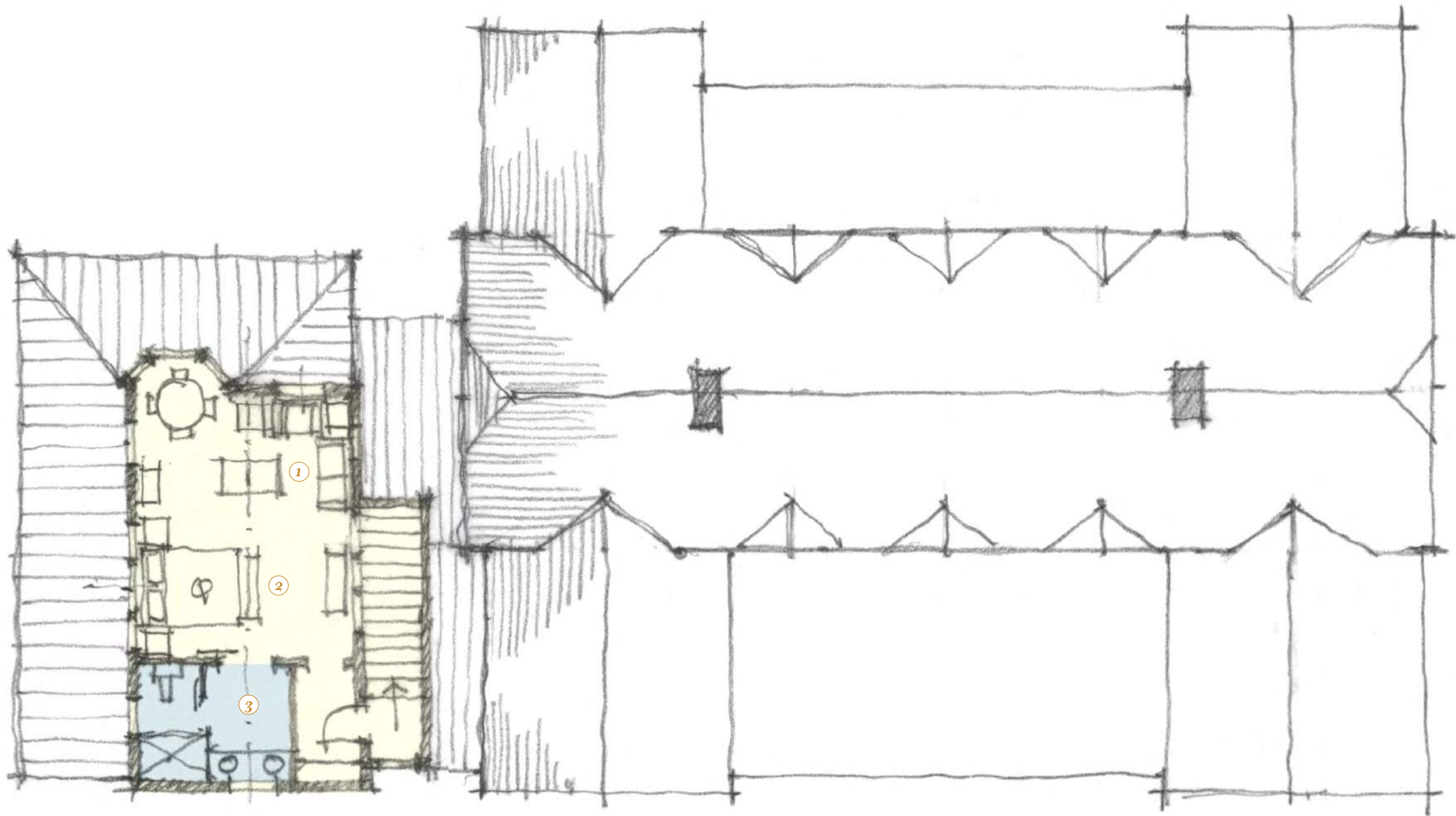
First Floor Conditioned: 2,777 sf
Second Floor Conditioned: 515 sf
Unconditioned: 1,412 sf



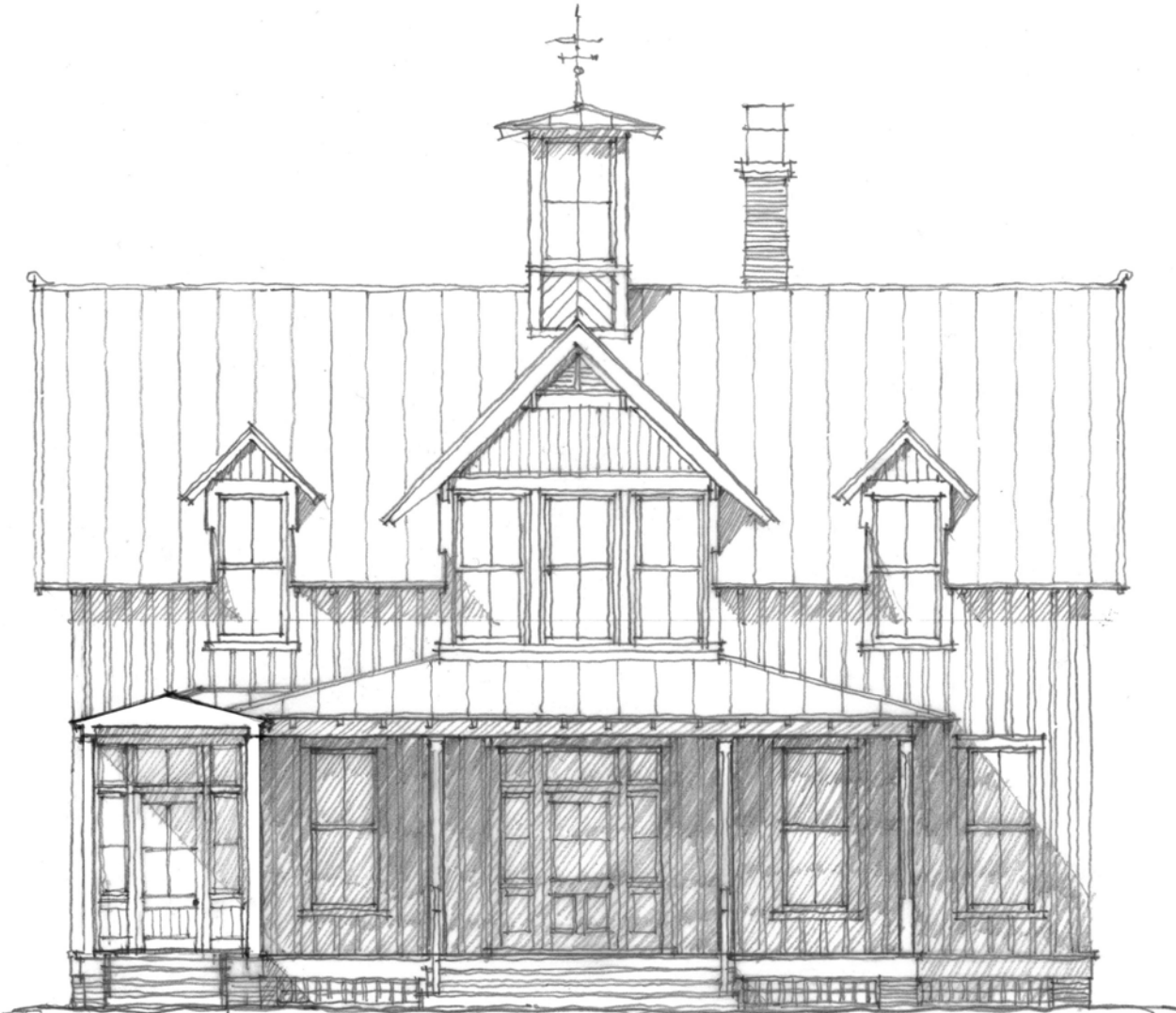
LOT 107 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN KEY:

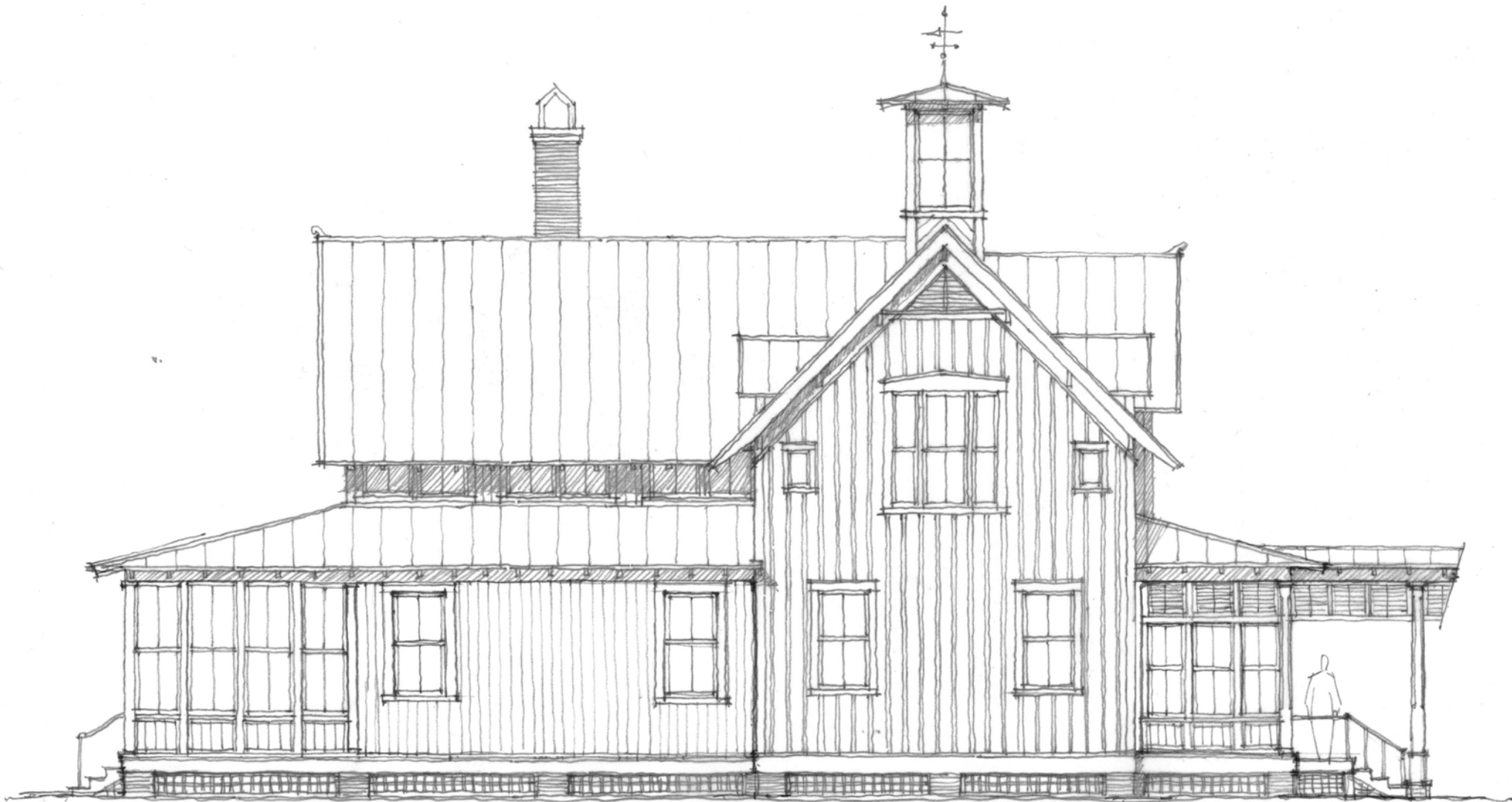
- 1. Upper Sitting
- 2. Bedroom
- 3. Bathroom



LOT 107 - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



LOTS 111 AND 112 (MIRRORED) - FRONT ELEVATION
SCALE: 1/8" = 1'-0"



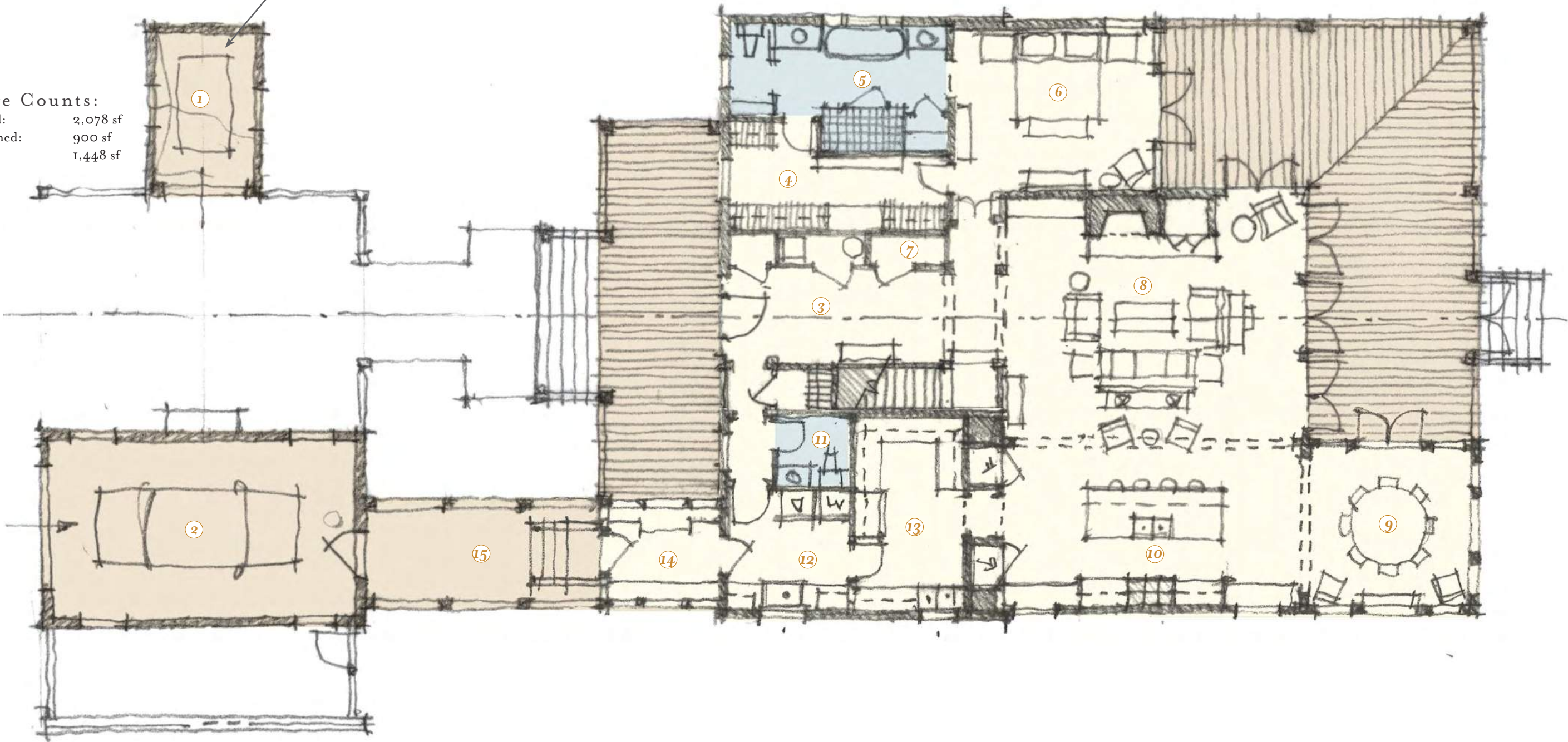
LOTS 111 AND 112 (MIRRORED) -SIDE ELEVATION
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN KEY:

- 1. Cart Garage
- 2. Garage:
- 3. Entry Hall
- 4. Master Closet
- 5. Master Bath
- 6. Master Bedroom
- 7. Storage
- 8. Living Room
- 9. Dining
- 10. Kitchen
- 11. Powder
- 12. Laundry
- 13. Scullery
- 14. Mudroom Entry
- 15. Breezeway

Square Footage Counts:
First Floor Conditioned: 2,078 sf
Second Floor Conditioned: 900 sf
Unconditioned: 1,448 sf

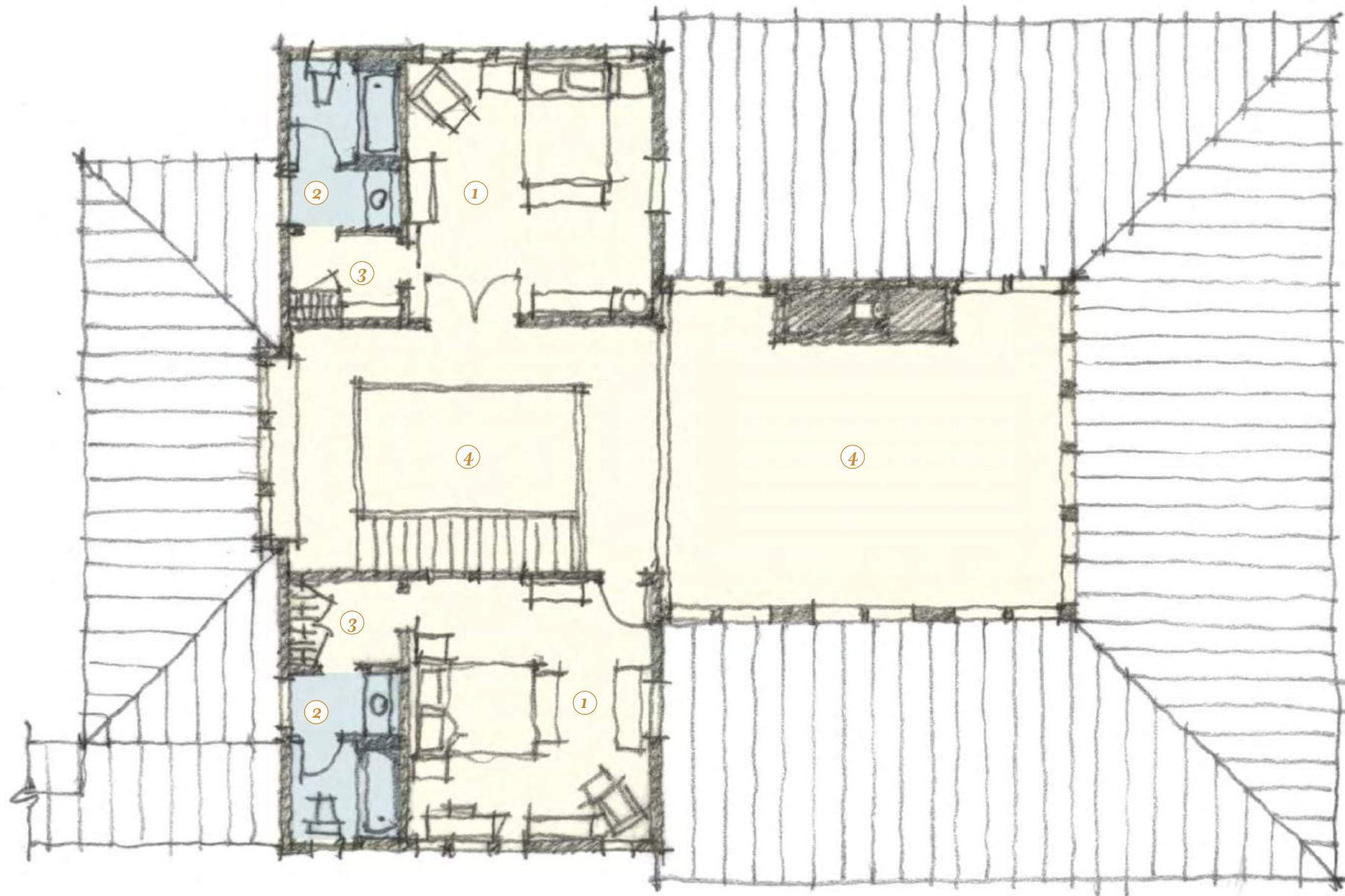
*Note: Cart Garage may be replaced by a full garage at the descretion of the developer



LOTS 111 AND 112 (MIRRORED) - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN KEY:

- 1. Guest Bedroom
- 2. Guest Bathroom
- 3. Guest Closet
- 4. Open to Below



LOTS 111 AND 112(MIRRORED) - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"