

DESIGN GUIDELINES

for

CRANE ISLAND

October 25, 2019

Version 1.2

HISTORICAL · CONCEPTS · ARCHITECTURE & PLANNING

These Design Guidelines have been prepared by Historical Concepts to guide the vision and implementation of Crane Island. This document is to serve as a tool to for architectural and landscape design requirements of the community. The language, drawings and photos depicted in these Design Guidelines represent the current development direction, which is subject to change or modification without notice. These materials are intended solely as a planning instrument which will be updated periodically over the years as required to build a planned community.

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Overview of the Island

Overview of the island

Crane Island stands tranquil alongside its big sister to the east, Amelia Island. A sliver of land, 72 acres big, it has not seen much habitation beyond the flora and fauna that canvas its grounds. Now, its great beauty can be enjoyed by many in the new community.

Embracing the Environment

The mature tree canopy of Crane Island is exceptional. It speaks to the fact that humans have always had a "light footprint" on the land. Development plans for the island have been prepared with much care in order to maximize preservation of the maritime forest. The goal is to provide opportunity for all residents to enjoy the island's natural beauty through paths, parks spaces and water access. The master plan intentionally preserves the most majestic trees by locating community park spaces around them. Alice Park, the main park midway down the island, extends from one side of the island to the other inviting breezes and views to be shared by many. This park space is also home to the hub of activity, the clubhouse, which is set under the oak branches and offers sweeping views of the Intercoastal Waterway. No matter what vantage point in the community, a person will always be connected to the pristine natural environment that can only be the Florida coast.

Building Sensitively

Introducing homes to Crane Island must be done with the utmost care for the environment while aligning to and evolving the building heritage of the region. These design guidelines are based on research and documentation of regional, maritime precedents. Drawing on these precedents, the design principles are aimed at creating environmentally responsible, attractive homes that respect the qualities of the maritime forest setting. This focus on environmentally responsible design at the community scale as well as the architectural scale is a central theme in the key design elements, buildings, and lot layouts. These Design Guidelines contain five sections: this Introduction, which describes the over arching concepts of the community; Master Plan, which presents the overall plan and the components that make it up; Lot Types, which sets the standards for how buildings are sited on their lots; Architectural Guidelines, which establishes design direction for homes; and the Landscape Guidelines, which describe the landscape principles and applications for lots and community open space.



Crane Island is surrounded by an ecosystem that demands responsible development.



Purpose & Intent

Purpose

A successful, sustainable community is created by attention to detail at three levels of scale: the overall plan of the community, the quality of public (and public-to-private) space, and the quality and detailing of individual buildings. These guidelines attempt to reinforce the envisioned plan for Crane Island by addressing the second and thrid scales.

The primary purpose of the Crane Island Design Guidelines is to protect property values by ensuring that all construction occurs in a manner that respects the traditional architectural forms set within a preserved natural environment. These high standards for superior materials and crafsmanship provide a level of predictability to residents that lasting value will be fundamental to their Crane Island home.

Intent

The Intent of these guidelines is to present to owners, architects and contractors the vision for the island so that they will become capable builders and stewards of the vision. The diagrams, photographs and information provided herein is intended as both a communication tool and a regulating document. While the architectural vision for the island is rooted in the heritage of coastal Florida towns, the hope is that the homes of Crane Island evolve that aesthetic in fresh, new ways. Much care has also been placed on describing how private landscape must be sympathetic to existing maritime forest while supporting the goals for low impact development. Collectively, the Design Guidelines seek to make Crane Island a place of manmade and natural beauty that advances the objectives that Amelia Island Plantation has been built upon.



Application

Navigating the Design Guidelines

The Design Guidelines are laid out in a sequential order, painting a clear picture of intended community character through deliberate building and landscape characteristics in order to guide development. Readers should start at the beginning of the document.

This *Introduction* section provides an overview of the community in order to orient the reader and provide insight into vision. Additionally, this section provides a Master Plan outlining the distribution of lots and amenities on Crane Island.

The *Lot Types* section categorizes specific lot types based on their geographic location on the island. The Lot Types define the parameters for the layout of individual buildings on the lot, including setbacks and lot coverage requirements.

The *Architectural Guidelines* section of this document guides the design of the individual buildings, identifying four house styles that establish the "Crane Island aesthetic." The Building Elements subsection advises designers on appropriate details and material choices to be considered in the design process, regardless of style.

The *Landscape Guidelines* section addresses everything outside of the buildings, including: landscaping, driveways, garden structures, lighting, pools, docks and even provides a plant list of approved plantings for Crane Island. Guidance is provided for materials, locations, and sizes of these elements along with photographic examples.

Because Crane Island is envisioned as a traditional neighborhood, the public realm (parks) and the roads are prioritized as important spaces. The requirements that guide the massing and design of the buildings were developed with the primary intent of preserving the character of these public spaces. For this reason, the main focus of these guidelines is how the buildings address the road and each other, in order to ensure that the character and value of the overall community is maintained.

Design Review Process

In order to encourage the architectural harmony of Crane Island, the developer and all property owners are bound by the regulations defined in these Crane Island Design Guidelines. All structures or improvements to structures shall not be erected or altered until approvals have been obtained by the Home Owners Association (HOA) and Architectural Review Committee (ARC). The HOA and ARC measure compliance and have the ability to grant variances to these guidelines.

NOTE:

The Crane Island Design Guidelines, and improvements, plans, features, amenities, and facilities described and depicted herein are based upon current development plans, which are subject to change or cancellation (in whole or in part) without notice. No guarantee is made that the improvements, plans, features, proposed recreational areas, amenities, facilities, and other features depicted by artist's renderings or otherwise described herein will be provided, or, if provided will be of the same number, configuration, style, type, size, nature, or location as depicted or described herein.

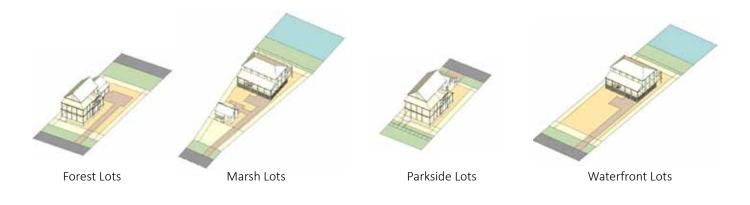
The use of these materials is solely at the risk of the user. These materials do no constitute a representation, guarantee, or warranty of compliance with any applicable law, ordinance, building code, zoning requirements, fire codes or insurance requirements.

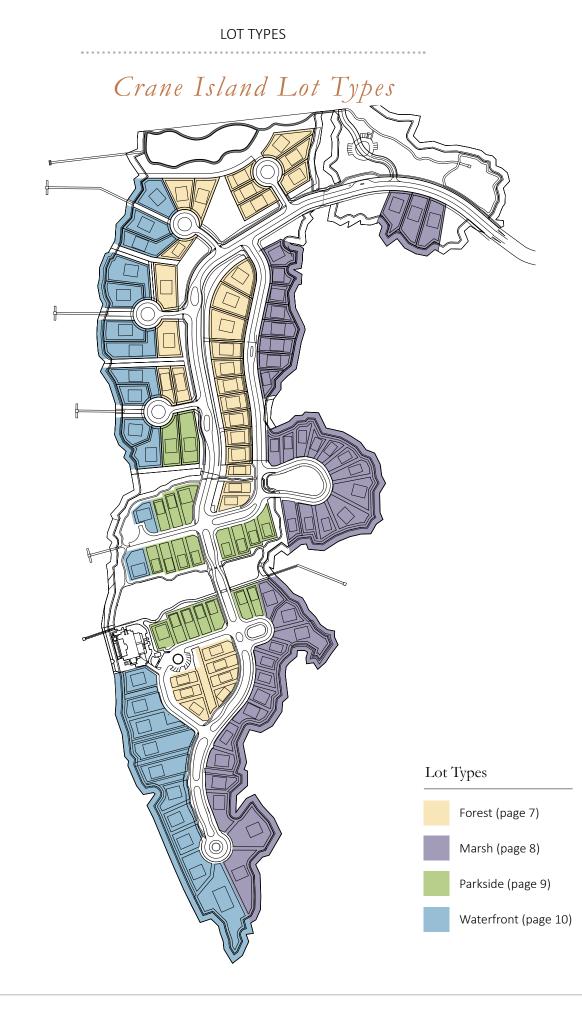
Overview of Lot Types

Lot Types have been identified to guide the design and configuration of homes based on their location within the community. Important considerations, such as placement of buildings, lot grading and drainage, and frontage to public spaces, are outlined for each Lot Type on the following pages. Each particular lot type provides nuanced architectural design guidance to achieve the unique vision of Crane Island. Some lots provide private access to the water, others to the marsh. A number of lots front community park spaces and must present a welcome facade to those spaces. The balance of lots are set within the shade of the maritime forest.

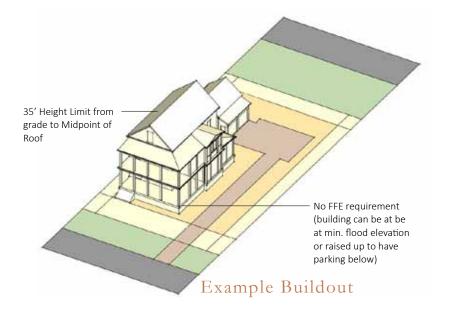
General requirements, to be applied to all lots, include:

- All buildings shall be desinged and sited to maximize the preservation of trees, and all site plans shall be approved pursuant to code.
- Any items not covered in these design guidelines (or the Crane Island PUD Development Conditions under separate cover) shall be governed by the conditions of the RS-1 zoning district of Nassau County Zoning Code or, after annexation, the City of Fernandina Beach building code.
- All lots are to be graded to drain per the civil engineering plans.
- Retention and terrace walls are permitted but should be not taller than three feet. If additional height is required, a second wall may be constructed a minimum of five feet back from the initial wall and land-scaping must be installed in the space between to soften the appearance.
- Driveway markers (piers) and low walls are permitted at the perimeter of a lot to provide individual lot character and visual separation. See Fences, Gateways, & Garden Walls section within Landscape Guide-lines and Lot Types pages for further information.
- Private docks are permitted but are encouraged to be shared between two or more lots, as indicated in the master dock plan and civil engineering plans.
- For information on docks, pools, or small accessory buildings see the landscape guidelines section.
- The Crane Island PUD Development Conditions document requires that no lot have more than 60% Lot Coverage (Building Footprint), however the following Lot Types may specify a smaller percentage corresponding to their average acreage.
- Mechanical/utility equipment and their screening fences or elevated platforms may be located within the side or rear setbacks.
- House plans may not be repeated within three lots in either direction of a preexisting version, both on the same and opposite sides of the street, without substantial changes to its appearance (i.e. more than material changes).

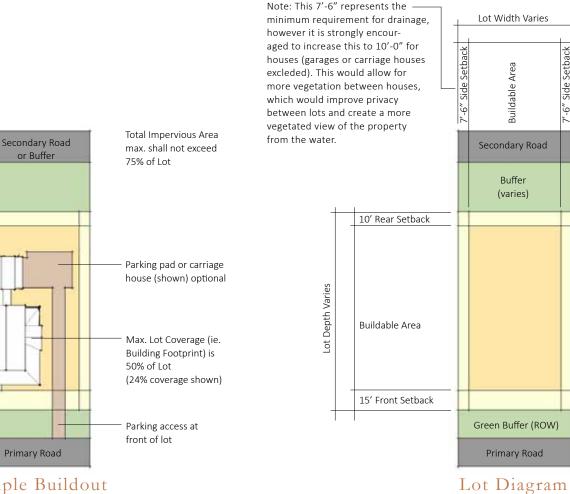




Forest Lots

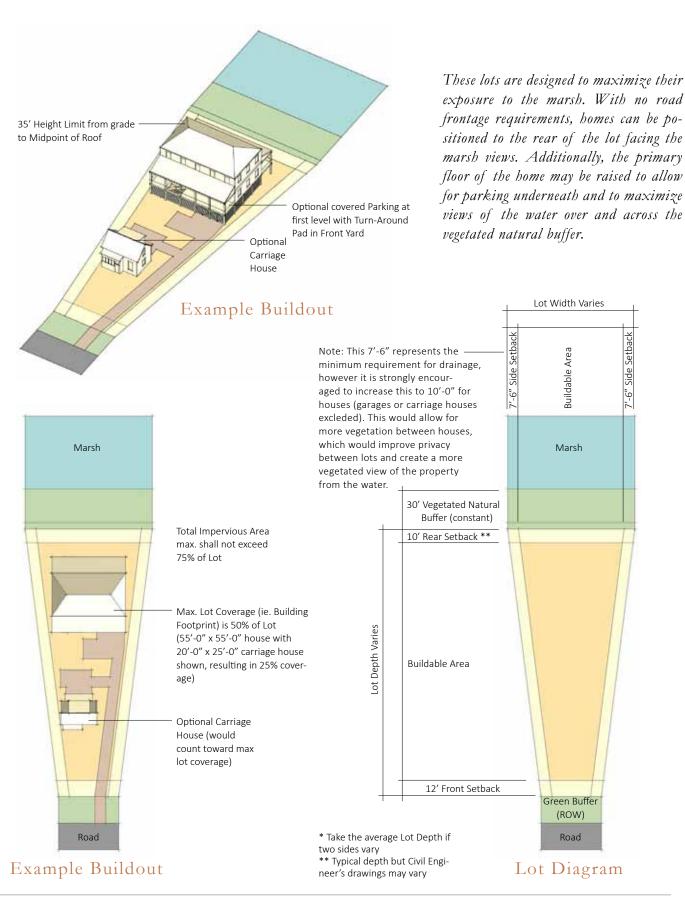


A greener and more forested lot is encouraged through carefully calibrated setbacks. With the rear setback being a percentage of overall lot depth, a backdrop of vegetation frames the house which is also more likely to address the road. This, in turn, maximizes the potential for social engagement.

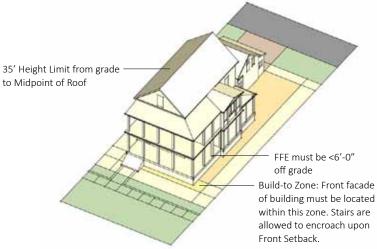


Example Buildout

Marsh Lots

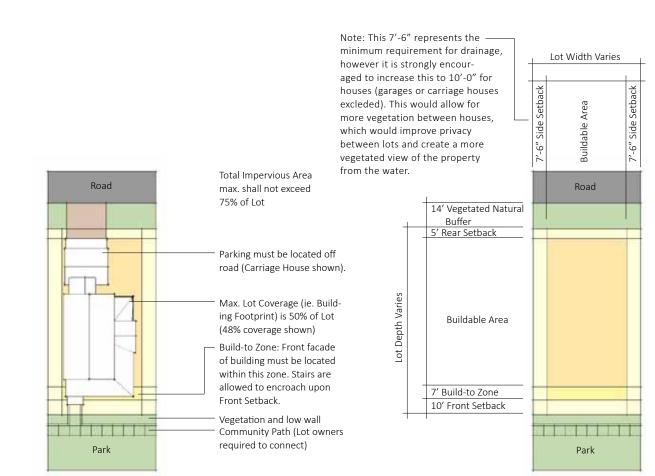


Parkside Lots



Example Buildout

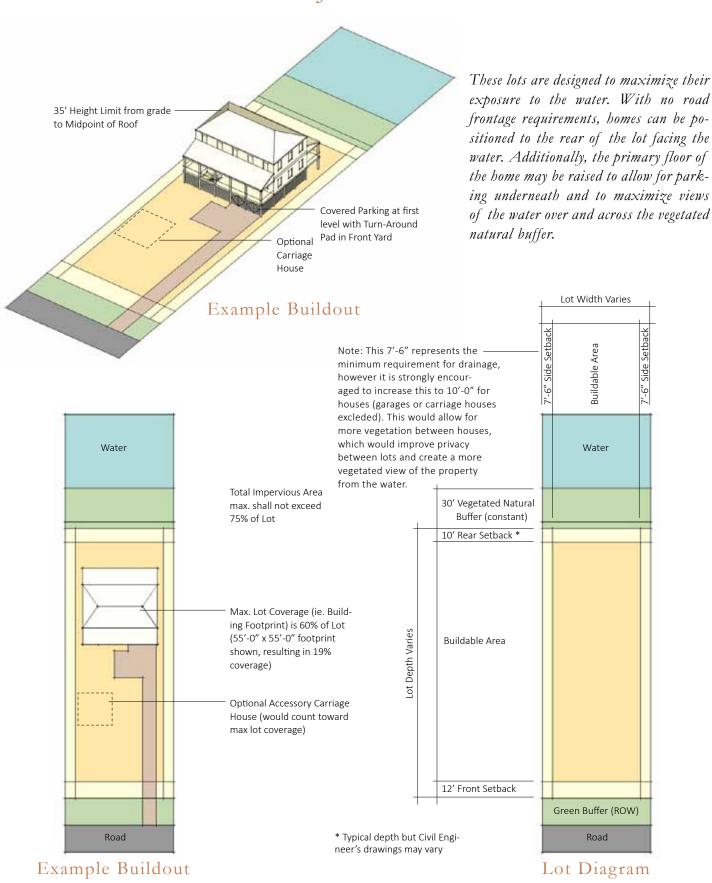
These lots are intended to reinforce the public parks that they surround. Homes shall be required to have their front facades face the park. Their maximum Finish Floor Elevations (FFE) will ensure engagement and activation for the park. Additionally, their collective Build-to Zones will help to define and frame the park's edge.



Example Buildout

Lot Diagram

Waterfront Lots



Architectural Styles

The goal of these Architectural Guidelines is to establish a "Crane Island aesthetic" that is unique and definable. The mission is to balance consistency with a diversity of details. Four architectural styles have been selected to meet that balance: **Florida Homestead, Amelia Artisan, Island Contemporary,** and **New Caribbean**. These styles share commonalities in massing, deference to the outdoors, and simple details; but they each have their unique features, too: roof forms, porches, and eaves, among many others. They can allow individual lot owners to display their personal styles while contributing to a holistic architecture of the community.

The following pages outline some of the key features of each style along with a selection of representative photographs.







Amelia Artisan

Architectural Styles

Island Contemporary







New Caribbean

Florida Homestead

This style is derived from some of the earliest Florida homesteads. With simple massing and understated details, the focus is on the architecture's integration with the landscape. Interior spaces tend to arrange themselves around porches. Economy in form and detail can translate into quality of materials and spatial harmony. Everything serves a purpose; nothing is superfluous.

Lot Type	Can be built on any lot. Must follow lot type regulations.
Composition	 Often symmetrical. Punched openings (those floating in a wall) with or without shutters. Could be broad- or narrow-front (like a Charleston side yard house)
Siding	④ Primarily lap siding and some brick or tabby at chimneys and foundations.
Porches	 (5.) Square posts, straight pickets, simple detailing. (6.) Most often on the broad side of the house. (7) Low beam height on second floor porch.
Roof Form	⑧ Typically gables and hips with frequent dormers (narrow or wide).⑨ Open rafter tails, sometimes shaped.





Florida Homestead





Amelia Artisan

A laid-back Victorian style with simple, yet elegantly articulated ornament and no unnecessary frills. Punched openings and quality materials tend to be the strongest features on an otherwise simple massing. Details, while understated, punctuate joints and frame openings.

Lot Type	Can be built on any lot. Must follow lot type regulations.
Composition	 Can be symmetrical or balanced design with local symmetries. Punched openings with or without shutters.
Siding	③ Lap or patterned shingle siding and brick at chimneys and foundations.
Porches	 ④ Thin square or turned posts. ⑤ Subtle brackets at the beam and column transition. ⑥ Straight, turned, or patterned railings. ⑦ Often one-story tall on either the broad- or narrow-side of the house. Two-story porches do occur, typically with equal attention to both floors.
Roof Form	 8 Typically gables and hips with frequent dormers. 9 Primarily boxed eaves, sometimes with brackets. 10 Open rafter tails are less common.



Amelia Artisan



Island Contemporary

A fresh take on traditional styles. While referencing the past, this aesthetic tends to stretch definitions and push boundaries. Building forms range from simple to complex. Materials may blend with their surroundings or standout as a signature element. One almost universal element, however, are the expansive glass openings, which tend to minimize architecture and maximize nature.

Lot Type	Marshpoint lots shall all be of this style. Can also be built on Waterfront and Forest lots. Must follow lot type regulations.
Composition	 Building forms are often a stylized version of tranditional forms. Oversized ganged windows or glass walls are common. Playful, asymmetrical compositions. Simple and sometimes bold details.
Siding	(5) Range of materials used including wood, metal, masonry, and glass.
Porches	 6 Covered porches may be less common to decks. 7 Interior rooms with large glass openings provide indoor-outdoor experience.
Roof Form	 (8) Roof forms vary but should be coordinated within a building. (9) Use of gables, single pitches, and flat (low slope) roofs. Hip roofs are not common.





Island Contemporary







New Caribbean

A 21st-century take on Caribbean influences in Florida. Features thermal mass to keep the interiors cool. Numerous outdoor spaces--porches, balconies, decks, breezeways--provide opportunities to enjoy the outdoors. This is a fitting style which has perfectly adapted to the region's climate.

Lot Type	Can be built on any lot. Must follow lot type regulations.
Composition	 Can be symmetrical or balanced design with local symmetries. Building forms are often simple. Punched openings with or without shutters.
Siding	④ Primarily smooth stucco exterior, with lap siding as an accent.
Porches	 (5) Porches are less common to second-floor balconies. (6) Balconies typically have large brackets and articulated railings.
Roof Form	 Roof forms are often gabled or hipped.



New Caribbean







General Building Notes

- All buildings on a lot must adhere to the same **architectural style**.
- Porches are to be a minimum of eight feet deep in order to provide a usable outdoor space.
- Houses that have frontage on **community park spaces** must front onto those spaces with porches, entrances, or other features with active programs.
- Corner lots should address both frontages, but a side frontage can be secondary.
- Unless otherwise stipulated in the Lot Types section of this book, a house's **finish floor** may be built to minimum flood level or may be raised a full story to provide parking underneath.
- **Garages** are to be outbuildings and may have an inlaw suite above. Breezeways or enclosed connectors to the main house are permitted. Open convertible accessory structure
- **Building height** is measured from grade to the mid-point between the eave and the ridge line of the roof (as stipuated in the Crane Island PUD). Cupolas and similar decorative or mechanical appurtenances may extend above the ridge line of the roof by no more than five feet. Chimneys may exceed the height limit as required by the Building Code. Unless otherwise stipuated in the Lot Types, houses may be built to minimum flood level (BFE + 1') or may be raised a full story to provide adequate clearance for parking underneath.
- All **exterior wood frame walls** shall be 2x6. Exceptions are small accessory structures such as potting sheds, pump houses, and the like.
- All homes should be constructed to incorporate insulation or other features to provide a level of **noise insulation** above that normally required by code. Such measures should reach or exceed the 55 DNL noise contour requirements.
- Crane Island is a coastal barrier island, therefore it is recommended that **soil tests** be obtained for a lot at the onset of design (prior to structural design) in order to determine conditions that may inform structural design for the home.



Indoor-Outdoor Living

The outdoor experience is a vital part of life at Crane Island. All homes are encouraged to maximize the indoor-outdoor living opportunities to afford the experience of nature at different times of the day. Walls of glass open up to views and bring outdoor life inside. Screen porches offer a protected outdoor space that can be furnished like an indoor room. Clever home design will form courtyard spaces, pass-throughs and outdoor hallways (breezeways) to saturate every indoor experience with natural light and air. Poor decks, whether at grade or raised to the main living level, can create a private oasis to chase away the heat of the day. Indoor spaces can flow seamlessly onto terraces with the integration of operable glass wall systems.



APPENDIX

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