

SEPT 9, 2019



RESIDENTIAL DESIGNERS  
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DATE:

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REVISIONS:

SHEET: PROJECT: PARK HOUSE FOR: RIVERSIDE HOMES

LOT #76 (71) OLD WELL ROAD  
FERNANDINA BEACH, FLORIDA 32044

G1.1

TERMS OF PURCHASE AND USE:	
1.	Moser Design Group, Inc., assumes no liability for any home or any portion thereof which may be constructed from these plans. It is the responsibility of the purchaser of these plans to read and comply with the following prior to the start of actual construction.
2.	These Plans are the property of Moser Design Group, Inc. These Plans are protected by Federal Copyright Laws. Any use of the information contained herein beyond the one-time use authorized by a plan purchase, or any duplication, publication, sale or distribution of any part of these plans without the prior written consent of Moser Design Group, Inc. represents a violation of Federal Laws subject to the prescribed penalties.
3.	A purchase of blueprint prints grants the as "Licensee" the right to use such documents to construct a single home. Purchaser is prohibited from selling, giving away, title, and interest in the complete plans and derivatives remain with Moser Design Group, Inc. Modified plans are considered derivatives of the original. Derivatives receive the same copyright protection even if completely redrawn and like the Plans, may not be sold, copied, or used to construct any other residence.
4.	Any use of these plans, or modifications thereto, by the purchaser, his or her builder or others is performed at their own risk.
5.	Plans should be reviewed by a local professional architect or engineer prior to the start of construction. The information contained within these construction documents is issued for general design intent and basic framing details. It is the builder's responsibility to provide standard construction detailing and practices which will provide a structurally sound and weatherproof finished product. The builder shall resolve any discrepancies or problems perceived prior to starting construction of such items.
6.	Building codes vary because of the great differences in geography and climate throughout the United States and Canada. Each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, seismic, wind, fire, smoke, water, radon and other matters. It is the Purchaser's responsibility to consult with the proper construction professionals to ascertain if the plans comply with the codes governing the Licensee's building site and, if necessary, make any changes or verifications required.
7.	The plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and climatic conditions. A local electrical engineer, mechanical engineer and/or builder should provide such plans as may be required for permits and construction. The foundation plan and associated details are provided as a guide for typical spread footing or typical concrete piers and conventional wood framed system. It is the purchaser's responsibility to have a local architect or licensed engineer review the plans and, if deemed necessary, provide a site-specific foundation design.
8.	These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types, and use of different materials and thicknesses may change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans may also change details.
9.	It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable national, state, and local Building Codes. It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.
10.	It is the builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned as directed by the manufacturers, unless specified herein to the contrary.
11.	It is the builder's responsibility to assure that all materials, equipment and components are new and of good quality.
12.	It is the builder's responsibility to check all plan dimension and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber, structural members, veneer, roofing, etc., all of which may create revised dimensions and details.
13.	Names of materials and manufacturers shown on these plans do not represent any endorsement or recommendation by Moser Design Group, Inc. The final selection of the materials to be used is the responsibility of the home owner and/or builder, as is the proper installation of exterior nailings, gluing, coupling, insulation, flashing, shingles, plastering, roofing, masonry, other similar items and details not necessarily indicated on the Plans. Moser Design Group, Inc. has no control over or responsibility for the selection, installation, or use of such items or details and shall not be liable for any errors, omissions, or deficiencies in any form pertaining thereto.
14.	Moser Design Group, Inc. reserves the right to make changes to its models from time to time, therefore, does not warrant that the Plans will match any marketing images, web site or catalog that the purchaser may have reviewed and/or consulted in ordering plans.
15.	<b>DISCLAIMER OF WARRANTIES.</b> To the maximum extent permitted by law, Moser Design Group, Inc. disclaims all warranties, express or implied, including the implied Warranty of Merchantability and implied Warranty of Fitness for a Particular Purpose.
16.	<b>LIMITATION OF LIABILITY.</b> Moser Design Group, Inc. shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits, loss of business opportunity, To the extent permitted by law, any liability of the licensor shall be limited to the retail price of the Plans.
17.	This agreement shall be construed in accordance with South Carolina law.
18.	Any legal action concerning or arising out of this agreement shall be brought only in a South Carolina State, or Federal Court located in Beaufort, Charleston, or Greenville, South Carolina, and the Licensor and the Licensee consent to the exclusive jurisdiction of said Courts with respect to any such action.
GENERAL NOTES:	
1.	Do not scale drawings. Use only dimensions shown on drawings. If dimensions are in question, the builder shall obtain clarification from Moser Design Group, Inc. before continuing with construction. The builder shall verify all dimensions and conditions at jobsite.
2.	Larger scale drawings supersede smaller scale drawings.
3.	Coordinate location of utility meters on the site plan to keep them from public view and to minimize visual impact from any area of the site. Hold meters as low as possible to allow more effective screening.
4.	Use materials appropriate to the application for maximum life and optimum appearance.



# PARK HOUSE

FOR: RIVERSIDE HOMES

## DRAWING INDEX

- A1.0 COVER SHEET / GENERAL INFORMATION
- S1.0 SCHEMATIC FOUNDATION LAYOUT
- S1.1 FIRST FLOOR FRAMING LAYOUT
- S1.2 SECOND FLOOR FRAMING LAYOUT
- A2.0 FIRST FLOOR PLAN
- A2.1 SECOND FLOOR PLAN
- A2.2 OUTBUILDING FLOOR PLAN
- A2.3 ROOF PLAN
- A3.0 ELEVATIONS
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- A3.2 OUTBUILDING ELEVATIONS
- A4.0 BUILDING SECTIONS
- A4.1 BUILDING SECTIONS
- A5.0 WALL DETAILS
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- A5.2 WALL DETAILS
- E1.0 FIRST FLOOR ELECTRICAL
- E1.1 SECOND FLOOR ELECTRICAL

## SYMBOLS AND ABBREVIATIONS

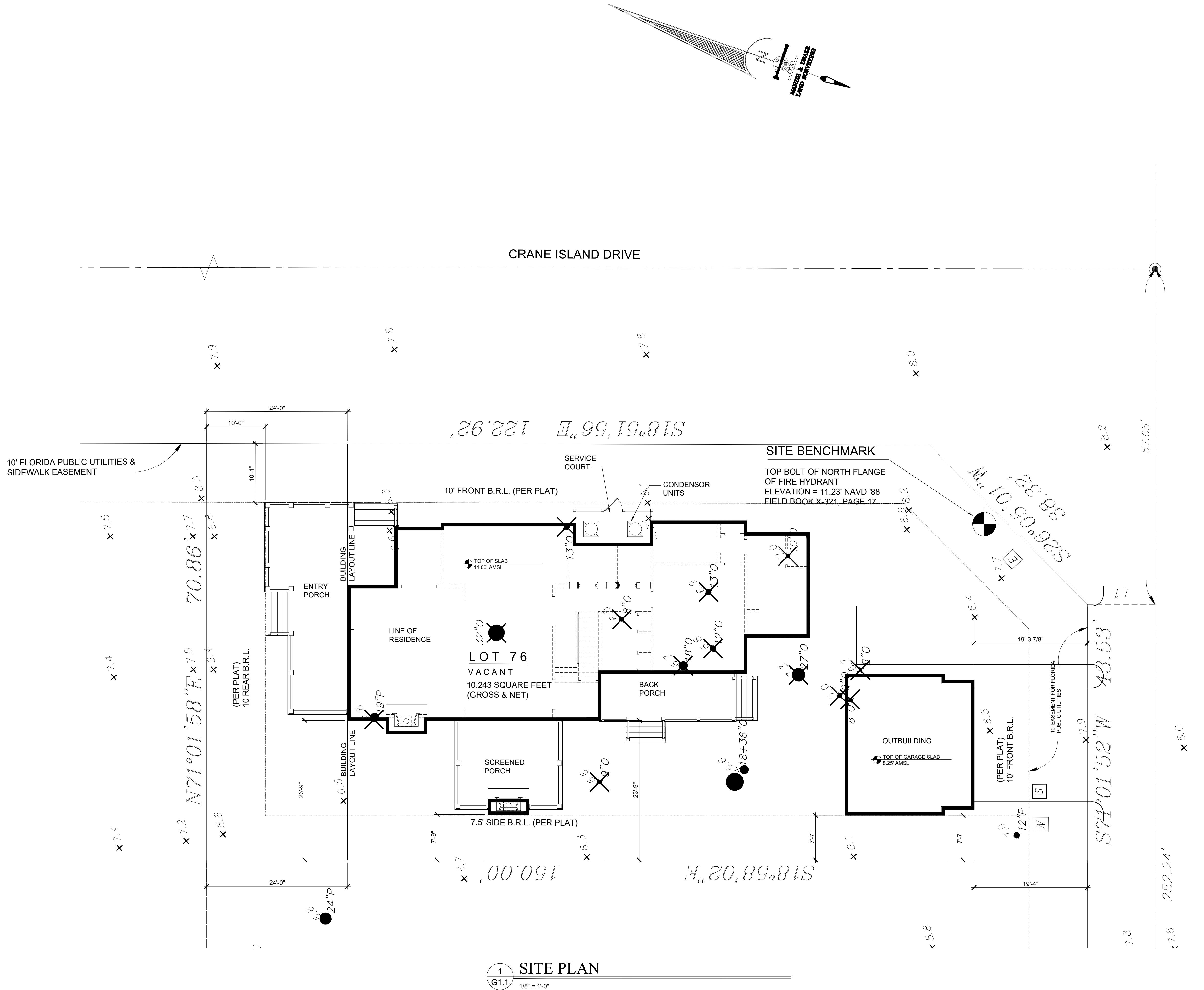
	DRAWING NUMBER	ABV	ABOVE	INT	INTERIOR
	Sheet Number	AFF	ABOVE FINISHED FLOOR	IN	INCHES
	DETAIL NUMBER	ASF	ABOVE SUBFLOOR	JST	JOIST
	Sheet Number	ADJ	ADJ	MIN	MINIMUM
	INTERIOR ELEVATION NUMBER	@	AT	MAX	MAXIMUM
	SHEET NUMBER	BFE	BASE FLOOD ELEVATION	NIC	NOT IN CONTRACT
	CONTINUOUS	CONT	CONTINUOUS	OPN'G	OPENING
	CENTER	CNTR	CENTER	OC	ON CENTER
	CONSTRUCTION	CONST	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
	CONCRETE MASONRY UNIT	CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
	CONCRETE	CONC	CONCRETE	PT	PRESSURE TREATED
	DIA	DIA	DIA	PNT	PAINT
	DBL	DOUBLE	R	RISER	
	DEG	DEGREES	ROW	RIGHT OF WAY	
	EXT	EXTERIOR	REQ'D	REQUIRED	
	FINISHED FLOOR ELEVATION	FFE	FINISHED FLOOR ELEVATION	REM	REMOVE
	FINISH	FIN	FINISH	SQFT	SQUARE FEET
	FLOOR	FL	FLOOR	TOB	TOP OF BLOCK
	FEET	FT	FEET	TOS	TOP OF STUD
	FACE OF STUD	FOS	FACE OF STUD	TRD	TREAD
	FACE OF BLOCK	FOB	FACE OF BLOCK	TRT'D	TREATED
	GYPSUM	GYP	GYPSUM	VERT	VERTICAL
	HOSE BIBB	HB	HOSE BIBB	GALV	GALVANIZED
	HEATING, VENTILATION & AIR CONDITIONING	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SS	STAINLESS STEEL
	HEIGHT	HT	HEIGHT		
	HANDICAP	H/C	HANDICAP		
	HEADER	HDR	HEADER		
	HORIZONTAL	HORZ	HORIZONTAL		

PRE-ENGINEERED: REFERS TO ANY ELEMENT THAT IS TO BE ENGINEERED BY A LICENSED PROFESSIONAL ENGINEERED FAMILIAR WITH THE SITE AND PROJECT PRIOR TO CONSTRUCTION.

NOTE:  
CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS,  
STRUCTURAL AND ENGINEERING DETAILS  
CONTRACTOR TO VERIFY VENTILATION AND WATER-  
PROOFING DETAILS  
CONTRACTOR TO VERIFY CONNECTIONS BETWEEN  
HOUSE AND FOUNDATION, VERIFY CONNECTIONS  
MEET ALL APPLICABLE CODES, AND LOADS IMPOSED.

These residential plans are for the exclusive use of the purchaser, and resale or reuse is expressly prohibited without written consent of Moser Design Group, Inc.

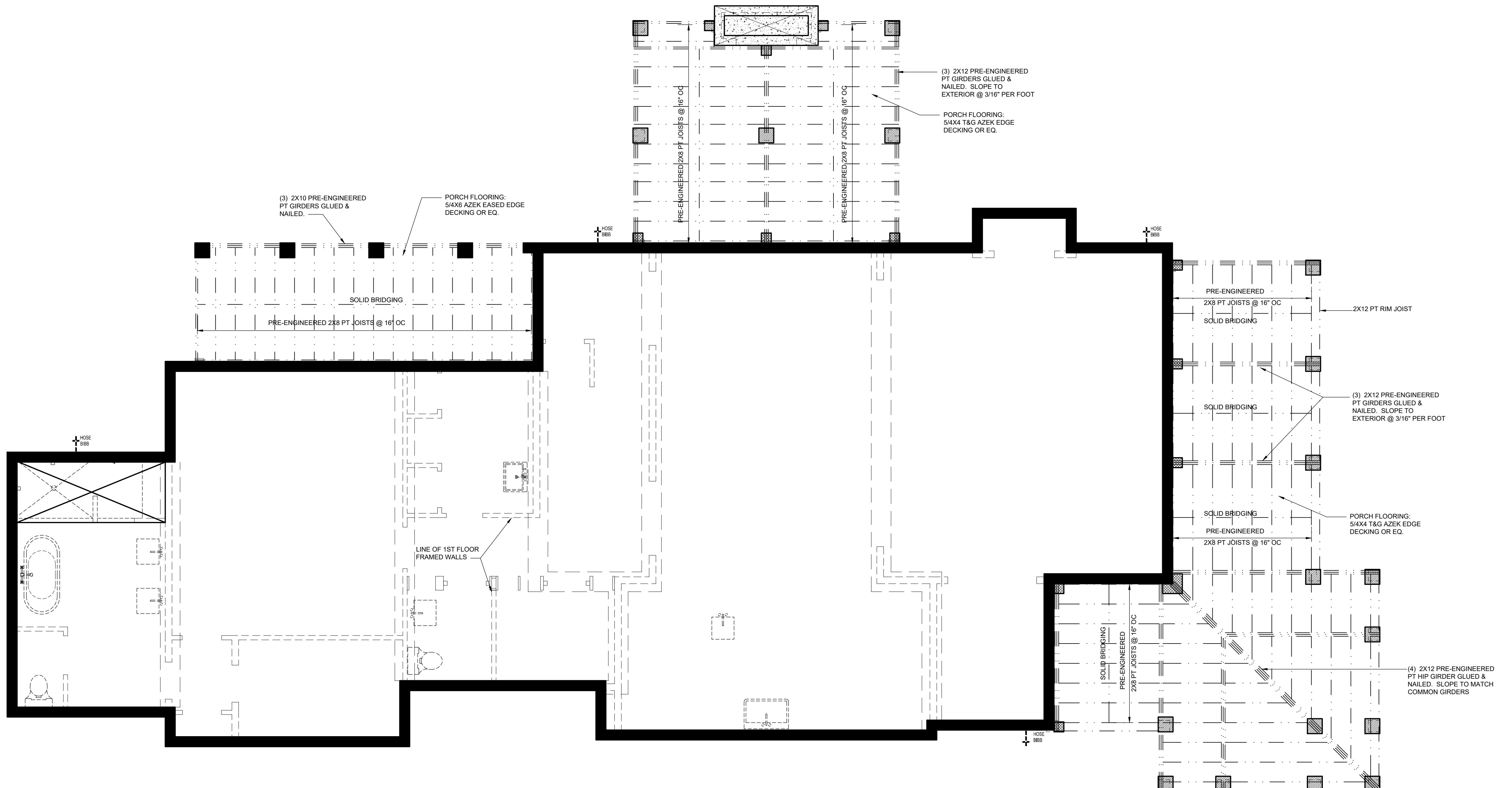
All construction plans, protected from Moser Design Group, Inc., are provided as-is, including inaccuracy, or fitness of purpose. Moser Design Group, Inc. is not liable for incidental, special, consequential, or indirect damages of any kind, including, but not limited to, loss of anticipated profits, loss of business opportunity, loss of equipment, loss of materials, loss of services, or any expense or damage resulting from the use of these plans. In the event any liability is imposed on Moser Design Group, Inc., even if Moser Design Group, Inc., has been advised of the possibility of such damage, it is the purchaser's responsibility to file a claim with the responsible insurance company. No claim will be accepted if it is determined that the damage was caused by the acts or omissions of the purchaser, or any third party that purchased or received the plans from Moser Design Group, Inc. 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In the event any liability is imposed on Moser Design Group, Inc., even if Moser Design Group, Inc., has been advised of the possibility of such damage, it is the purchaser's responsibility to file a





# SET REVIEW FOR CONSTRUCTION

DO NOT CONSTRUCT FOUNDATION AS SHOWN.  
Soil conditions and Flood Elevations vary significantly and foundation work must be suitable to the site specific requirements. The actual foundation requirements should be designed by others, and, if required by the Building Official, a scientific soil investigation may be required in order to determine the most suitable foundation system.

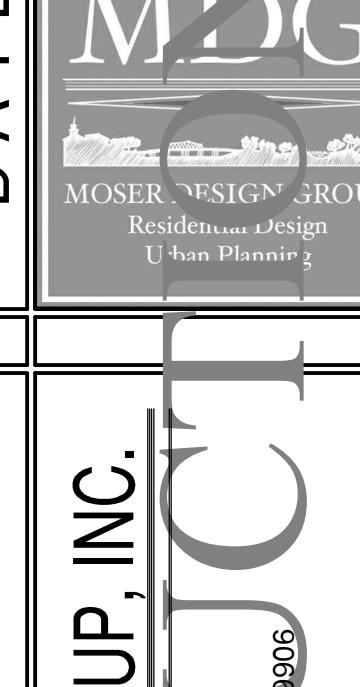


# 1ST FLOOR FRAMING LAYOUT

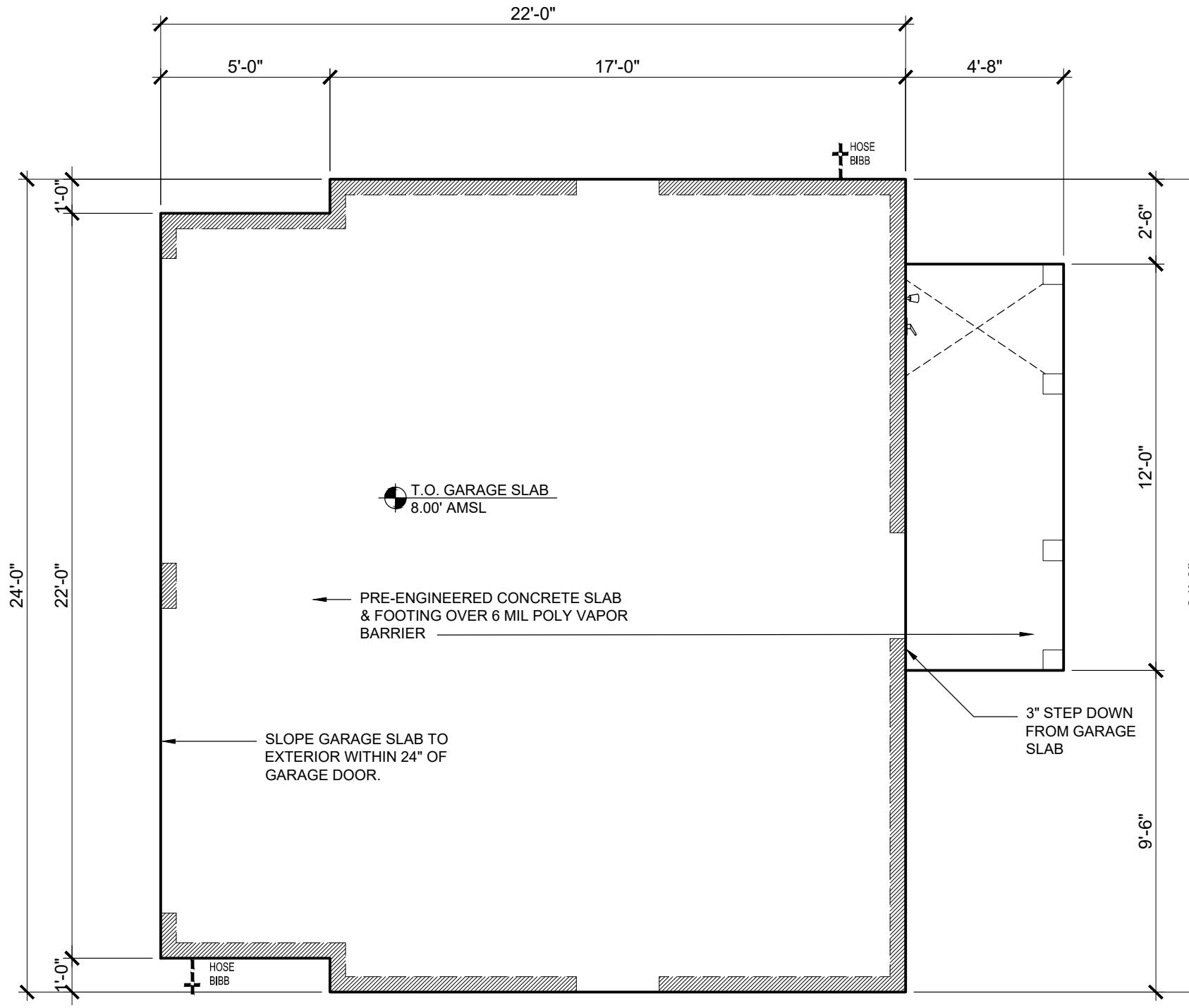
headers, beams, joist systems, and connections are engineered by a licensed professional engineer carry the loads imposed.

Contractor shall provide framing sub with

Contractor shall provide framing sub with copy of the truss manufacturer's latest printed handling & installation instructions and these instructions shall be maintained at the building site. The Contractor shall require that all such handling & installation instructions are properly implemented.

<b>DATE :</b>		SEPT 9, 2019	
<b>PROJECT :</b>		 <p><b>MOSER DESIGN GROUP</b> Residential Design Urban Planning</p>	
<b>SHEET :</b>		<p><b>PARK HOUSE FOR:</b>  <b>RIVERSIDE HOMES</b>  <b>LOT #76(71) OLD WELL ROAD</b>  <b>FERNANDINA BEACH, FLORIDA 32034</b> </p> <p><b>REVISED:</b> <b>10/10/2019</b></p> <p><b>BY:</b> <b>DR. VIVIAN R.</b></p> <p><b>FOR:</b> <b>MR. &amp; MRS. JAMES BROWN</b></p> <p><b>REVISIONS:</b> <b>1</b></p> <p><b>NOTES:</b> Building codes may vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. Therefore, it is the purchaser's responsibility to consult with the proper construction professionals to ascertain the suitability of these plans for that site and, if necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchasers' construction advisors.</p>	
<p>These residential plans are for the exclusive use of the purchaser, and resale or reuse is expressly prohibited without written consent of Moser Design Group, Inc.</p> <p>(C) 2018, MOSER DESIGN GROUP, INC. ALL RIGHTS RESERVED</p>			

# REVIEW SET NOT FOR CONSTRUCTION

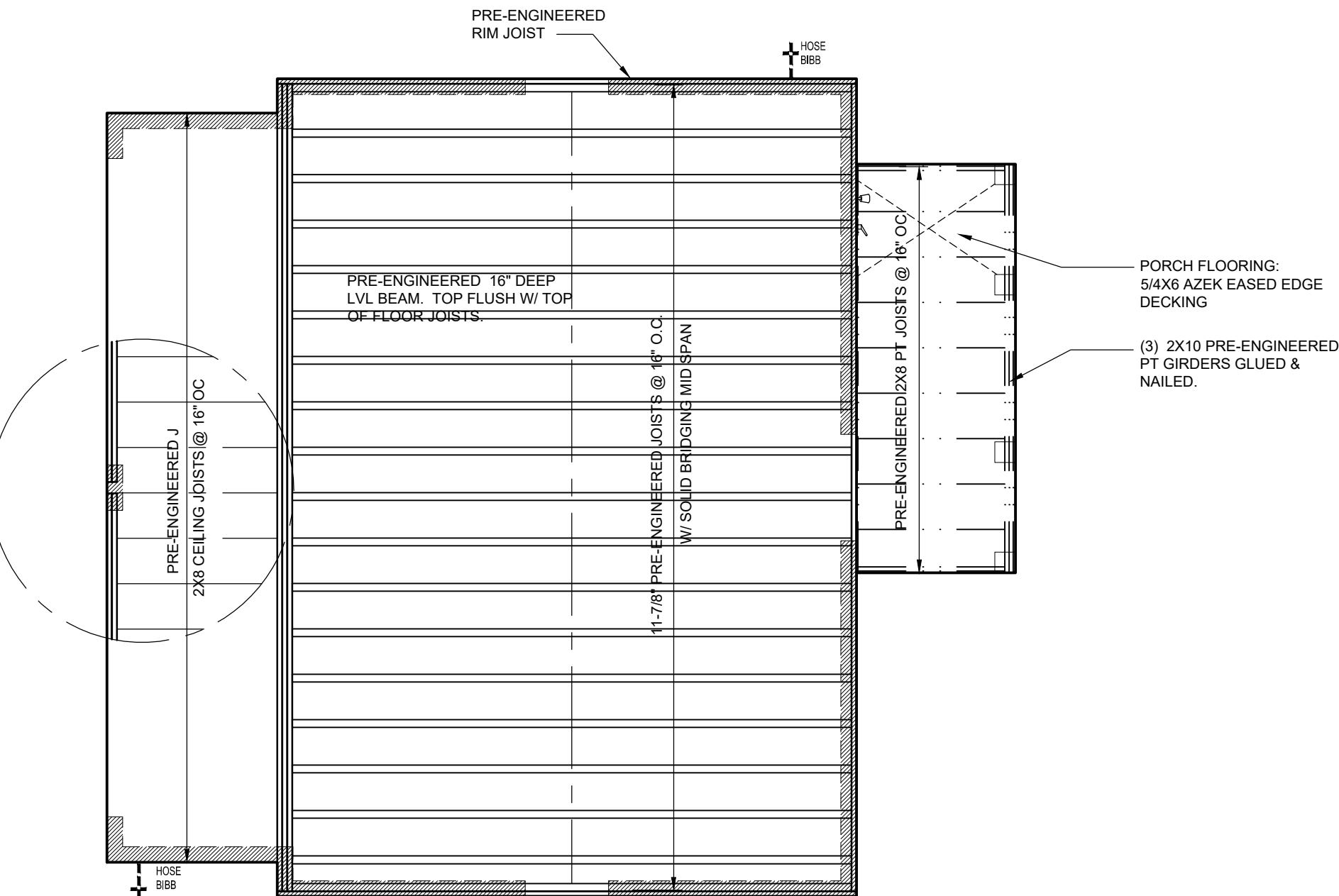


1

OUTBUILDING SLAB LAYOUT

S1.2

$1/4'' = 1'-0''$

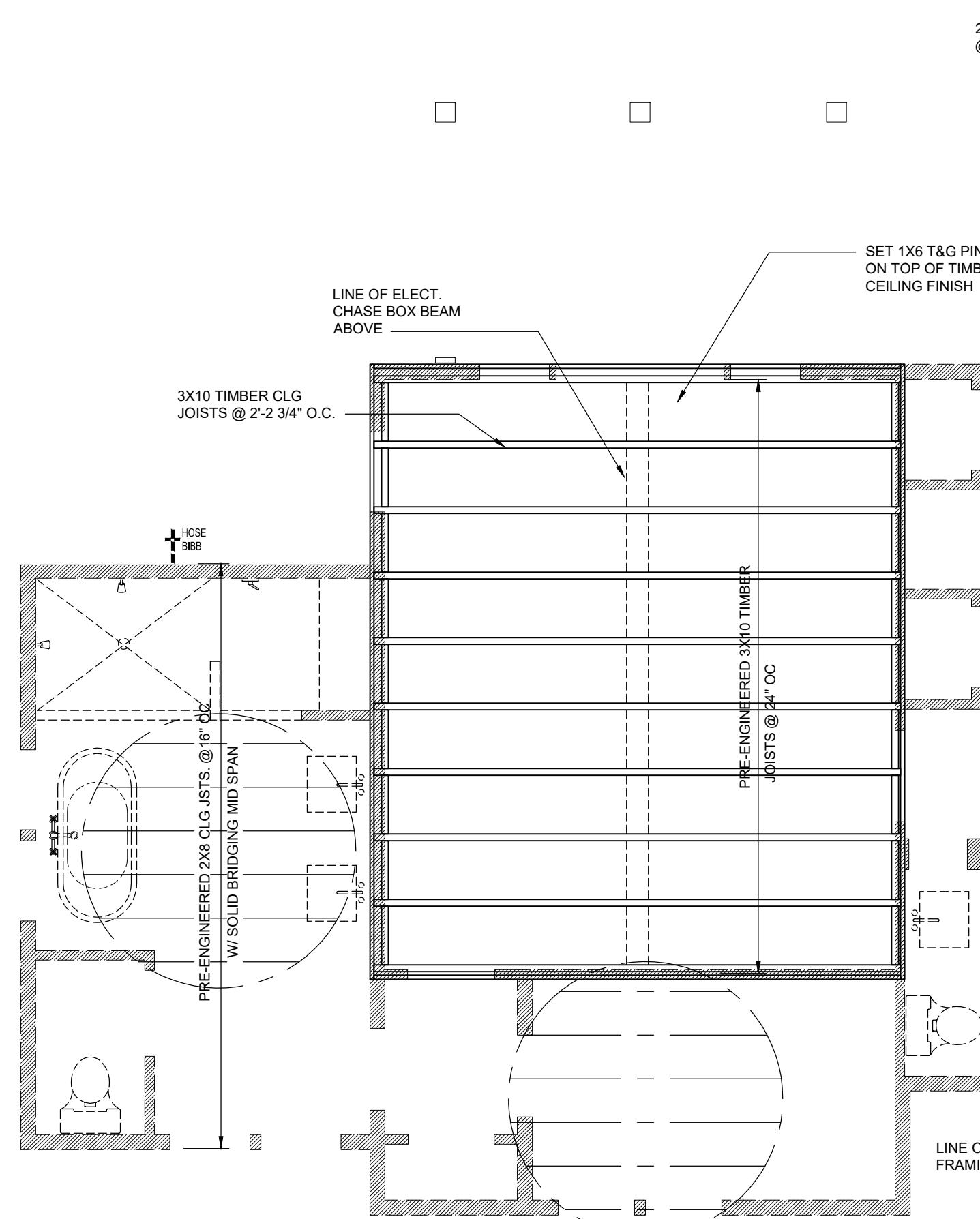


2

OUTBUILDING FLOOR FRAMING LAYOUT

S1.2

$1/4'' = 1'-0''$



3

S1.2

$1/4'' = 1'-0''$

2ND FLOOR FRAMING LAYOUT

0 1 2 4 8

THE JOISTS, BEAMS & CONNECTIONS INDICATED MUST BE PRE-ENGINEERED BY TRUSS MANUFACTURER OR ENGINEERED BY A PROFESSIONAL AND DEAD LOADS IMPOSED AND REQUIRED PRIOR TO PURCHASE OR INSTALLATION OF JOISTS

50 lbs. P.S.F. .... FIRST FLOOR LIVE LOAD  
50 lbs. P.S.F. .... SECOND FLOOR LIVE LOAD  
30 lbs. P.S.F. .... ATTIC FLOOR LIVE LOAD

All headers, beams, joist systems, and connections are engineered by a licensed professional engineer to carry the loads imposed.

Contractor shall provide framing sub with copy of the manufacturer's latest printed handling & installation instructions and these instructions shall be maintained at the building site. The Contractor shall require that all such handling & installation instructions are properly implemented.

DATE:

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Urban Planning  
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REVISIONS:

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## FINISH NOTES

1. Wallboard shall be mold, mildew & moisture resistant, screw-attached 1/2" fire resistant gypsum board conforming to ASTM C36-64.

1. Ceiling board shall be mold, mildew & moisture resistant, screw-attached 5/8" fire resistant gypsum board conforming to ASTM C36-64.

2. Wallboard @ damp areas shall be equal to screw-attached 1/2" moisture resistant gypsum board @ all areas exposed to high humidity levels such as bathrooms.

3. Sheetrock accessories shall be equal to USG. All exposed corners and gypsum board edges shall have appropriate metal accessories. Sheetrock joint treatment materials shall conform to ASTM C476-64. Tape all joints and apply 3 coats of joint compound. Sand between coats and after the final finish coat.

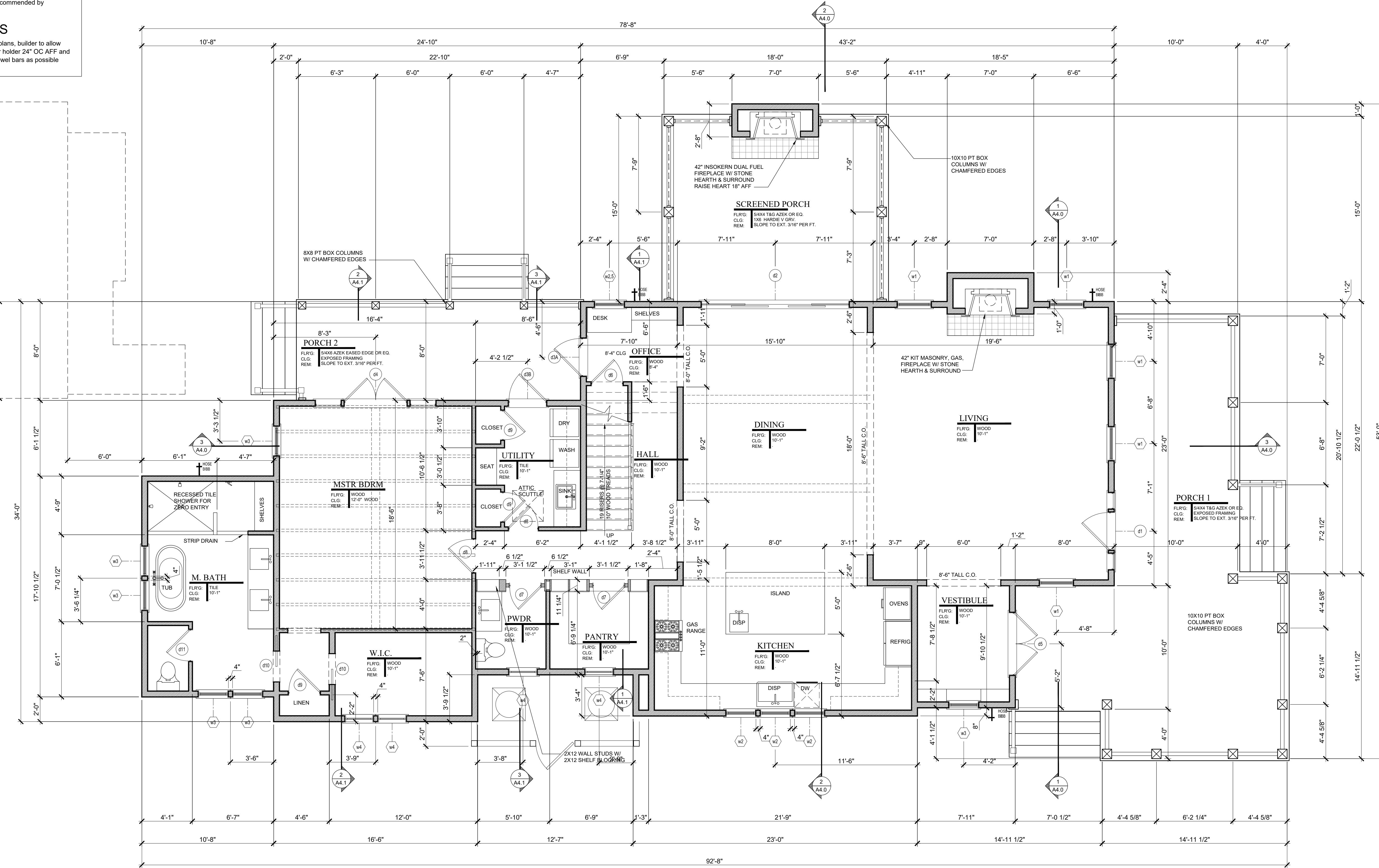
4. All joints should be sound, clean, dry and free of contaminants. Caulking or sealant should be applied in accordance with spec data sheets and manufacturer's specific recommendations. Caulking and sealant shall be installed so that finish surface is smooth, even and regular.

5. Sealant shall be installed at exterior or damp interior joints between dissimilar materials as required. Prime all substrates with primer as recommended by manufacturer of sealant. Apply sealant from the bottom up.

## BATH ACCESSORIES NOTES

Bath accessories are generally not shown anywhere on the plans, builder to allow blocking for bath accessories. Supply and install toilet paper holder 24" OC AFF and minimum 36" OC from wall behind toilet. Install 18" or 24" towel bars as possible in bathrooms.

Outbuilding  
22 x 23



1 A2.0  
1/4" = 1'-0"  
0 1 2 4 8

BUILDING AREAS  
1st Floor heated 2,140 SQ FT  
2nd Floor heated 1,146 SQ FT  
Total main house 3,286 SQ FT  
Guest Cottage 408 SQ FT  
Total conditioned area 3,694 SQ FT

SHEET : A2.0

PROJECT : PARK HOUSE FOR :

RIVERSIDE HOMES  
LOT #76 (71) OLD WELL ROAD  
FERNANDINA BEACH, FLORIDA 32034

Building codes may vary for different geographical locations and alterations may be required. It is the buyer's responsibility to verify the applicable codes and regulations before construction begins. It is the buyer's responsibility to contact with the proper authorities if necessary to ascertain the suitability of these plans for that site and, if necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction designer.

RESIDENTIAL DESIGNERS  
info@moserdesigngroup.com  
PHONE (843) 379-5620

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MDG  
MOSER DESIGN GROUP  
Residential Design  
Urban Planning  
SEPT 9, 2019

## DOOR SCHEDULE

DR ID	Width	Height	Quantity	Material	Panels	Glazing	# of leaves	Operation	Transom Height	Transom Glass	Header Ht.	Hardware	Remarks
<b>FIRST FLOOR</b>													
d1	3'-0"	6'-8"	1	To be determined	1 Flat	2/3 4 lite	1	Swing	1'-5 1/2"	2 lite	8'-6"	Entry	15" wide sidelights & transom
d2	12'-0"	7'-11 1/2"	1	To be determined	1 Flat	Full 4 lite	4	Sliding	-	-	8'-0"	Entry	OXXO
d3A	3'-0"	6'-8"	1	To be determined	1 Flat	1/2 4 lite	1	Swing	-	-	6'-10 1/2"	Entry	
d3B	3'-0"	6'-8"	1	To be determined	1 Flat	1/2 4 lite	1	Swing	1'-5 1/2"	2 lite	8'-6"	Entry	1-1/2" mull Direct Set Transom, 2x6 framing
d4	9'-9 1/2"	6'-8"	1	To be determined	1 Flat	Full 4 lite	4	French	1'-5 1/2"	2 lite	8'-6"	Entry	OXXO, 24"-30"-30"-24" panels
d5	5'-0"	6'-8"	1	To be determined	1 Flat	2/3 4 lite	2	French	1'-5 1/2"	2 lite	8'-6"	Entry	1-1/2" mull Direct Set Transom, 2x6 framing
d6	2'-6"	6'-8"	1	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Closet	
d7	2'-6"	6'-8"	2	Pine	Boarded	-	1	Swing	-	-	6'-10 1/2"	Passage	Site built
d8	2'-8"	6'-8"	2	Solid Core	2 Flat	-	1	Swing	1'-5 1/2"	2 lite	8'-6"	Passage	1-1/2" mull Direct Set Transom
d9	2'-4"	6'-8"	3	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Closet	
d10	2'-6"	6'-8"	2	Solid Core	2 Flat	-	1	Pocket	1'-5 1/2"	2 lite	8'-6"	Passage	1-1/2" mull Direct Set Transom, 2x6 framing
d11	2'-6"	6'-8"	1	Solid Core	2 Flat	-	1	Swing	1'-5 1/2"	2 lite	8'-6"	Passage	1-1/2" mull Direct Set Transom
<b>SECOND FLOOR</b>													
d12	5'-0"	6'-8"	1	To be determined	1 Flat	2/3 4 lite	2	French	1'-1 1/2"	2 lite	8'-2"	Entry	1-1/2" mull Direct Set Transom, 2x6 framing
d13	3'-0"	6'-8"	1	To be determined	1 Flat	1/2 4 lite	1	Swing	1'-1 1/2"	2 lite	8'-2"	Entry	1-1/2" mull Direct Set Transom, 2x6 framing
d14	2'-6"	6'-8"	1	Solid Core	2 Flat	-	1	Pocket	-	-	6'-10 1/2"	Passage	2x6 framing
d15	2'-6"	6'-8"	3	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Passage	
d16	2'-6"	6'-8"	4	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Closet	
d17	2'-8"	6'-8"	2	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Passage	
<b>GARAGE</b>													
d18	3'-0"	6'-8"	2	Fiberglass	1 Flat	1/2 2 lite	1	Swing	-	-	6'-10 1/2"	Entry	
d19	9'-0"	8'-0"	2	Carriage style	-	-	-	Overhead	-	-	8'-1"	Garage Door	As shown w/ remote operator
<b>GUEST HOUSE</b>													
d20	3'-0"	6'-8"	1	To be determined	1 Flat	2/3 4 lite	1	Swing	-	-	6'-10 1/2"	Entry	
d21	2'-4"	6'-8"	2	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Closet	
d22	2'-6"	6'-8"	1	Solid Core	2 Flat	-	1	Swing	-	-	6'-10 1/2"	Passage	

## WINDOW SCHEDULE

Unit ID	Manuf. Number	Quantity	Frame Width	Frame Height	Type	Header Height	MANUF	REMARKS
<b>FIRST FLOOR</b>								
w1	ITD3476	5	2'-9 1/2"	6'-3 3/4"	DBL HUNG	8'-6"	MARVIN INTEGRITY	
w2	ITD3064	3	2'-5 1/2"	5'-3 3/4"	DBL HUNG	8'-6"	MARVIN INTEGRITY	
w2.5	ITD3060	1	2'-5 1/2"	4'-11 3/4"	DBL HUNG	7'10"	MARVIN INTEGRITY	
w3	ITD3068	6	2'-5 1/2"	6'-7 3/4"	DBL HUNG	8'-6"	MARVIN INTEGRITY	
w4	ICA2935	4	2'-4"	2'-11 1/8"	CASEMENT	8'-6"	MARVIN INTEGRITY	
<b>SECOND FLOOR</b>								
w5	ITD3468	7	2'-9 1/2"	5'-7 3/4"	DBL HUNG	8'-2"	MARVIN INTEGRITY	
w6	ICA2935	1	2'-4"	2'-11 1/8"	CASEMENT	8'-2"	MARVIN INTEGRITY	
w7	ITD3068	6	2'-5 1/2"	6'-7 3/4"	DBL HUNG	8'-2"	MARVIN INTEGRITY	
w8	ITD3068	1	2'-5 1/2"	6'-7 3/4"	DBL HUNG	5'-8"	MARVIN INTEGRITY	
w9	ICA2935	1	2'-4"	2'-11 1/8"	CASEMENT	5'-8"	MARVIN INTEGRITY	
w9.5	ICA2935	1	2'-4"	2'-11 1/8"	CASEMENT	7'-4"	MARVIN INTEGRITY	
<b>GARAGE</b>								
w10	ITD3068	2	2'-5 1/2"	6'-7 3/4"	DBL HUNG	7'-6"	MARVIN INTEGRITY	
<b>GUEST HOUSE</b>								
w11	ITD3468	5	2'-9 1/2"	5'-7 3/4"	DBL HUNG	7'-8"	MARVIN INTEGRITY	
w12	ICA2947	1	2'-4"	3'-11 1/8"	CASEMENT	7'-8"	MARVIN INTEGRITY	
w13	ITD3068	1	2'-5 1/2"	6'-7 3/4"	DBL HUNG	7'-8"	MARVIN INTEGRITY	

Note: All windows to have:  
2 1/4" deep historical sill  
2 over 2 Simulated Divided Light pattern w/ 7/8 muntins & 3/4" shadow bar.

ALL UNIT SIZES ARE BASED ON INTEGRITY FROM MARVIN. CONSULT WINDOW MFG.  
FOR ROUGH OPENINGS, ACTUAL MANUFACTURER TO BE DETERMINED BY THE OWNER. SUBSTITUTE LIKE SIZES IF ALTERNATE MANUFACTURER IS SELECTED.  
ALL UNITS SHALL HAVE "THICKENED SILL EXTENSION" ADDED BY MFG.

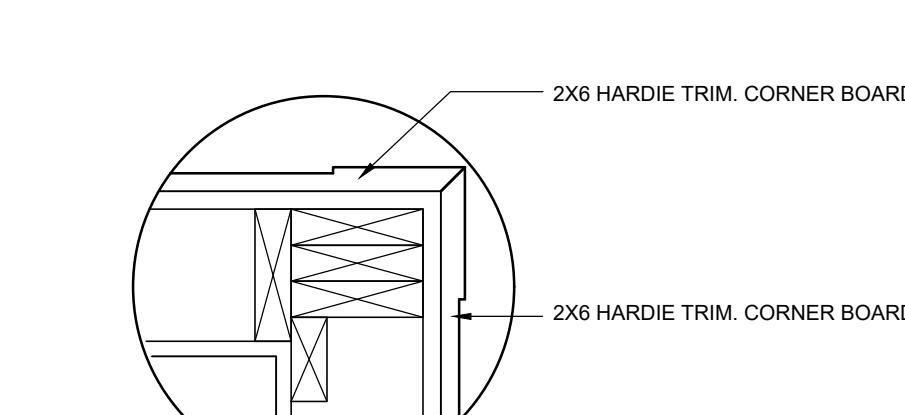


SEPT 9, 2019  
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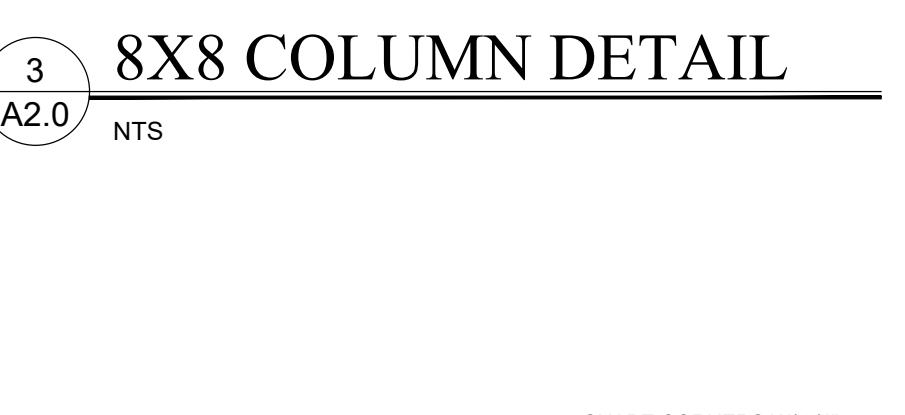
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**A2.1**  
**PROJECT:** PARK HOUSE FOR:  
 RIVERSIDE HOMES  
 LOT #7671 OLD WELL ROAD  
 FERNANDINA BEACH, FLORIDA 32044



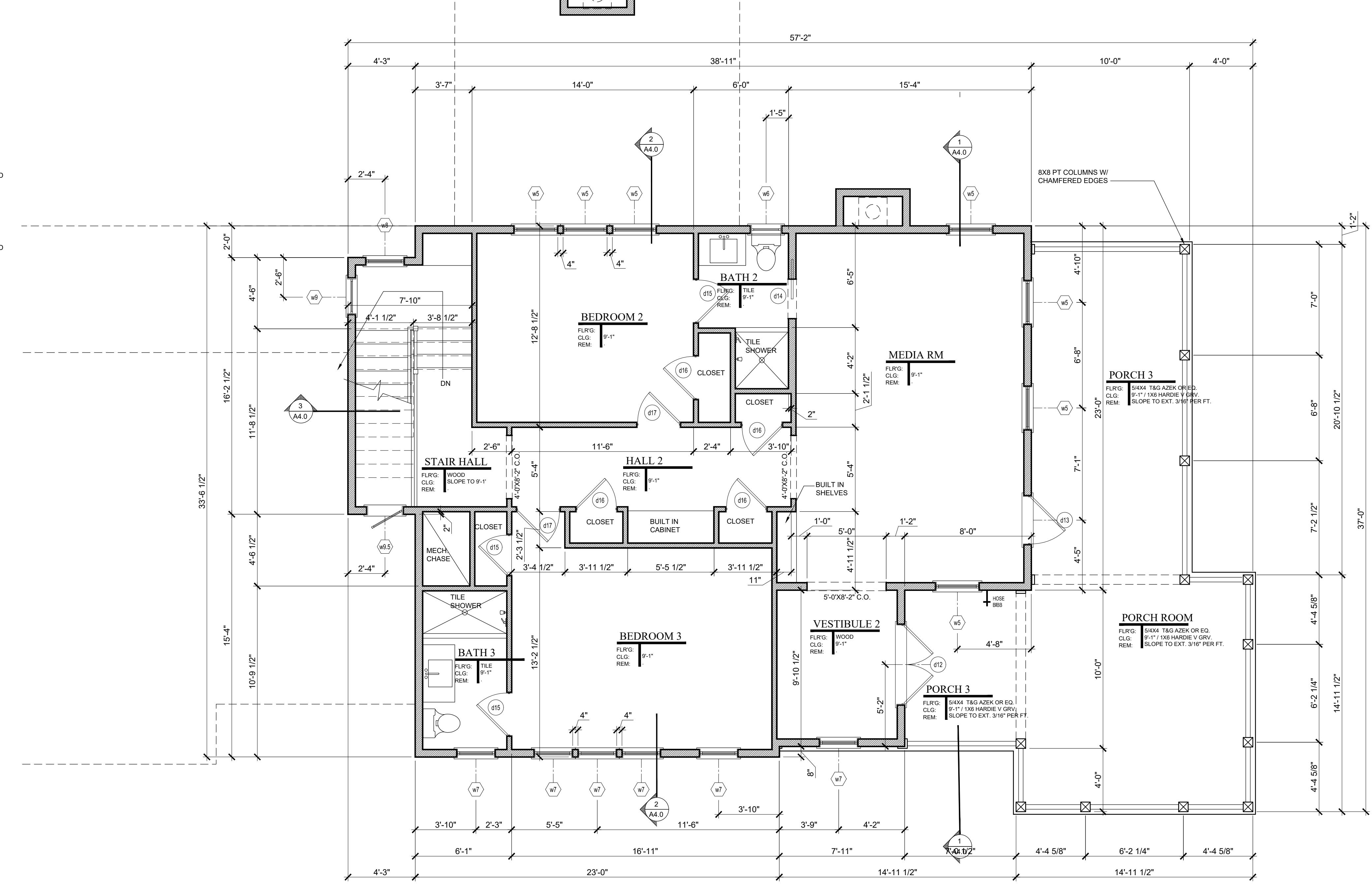
**CORNER DETAIL**

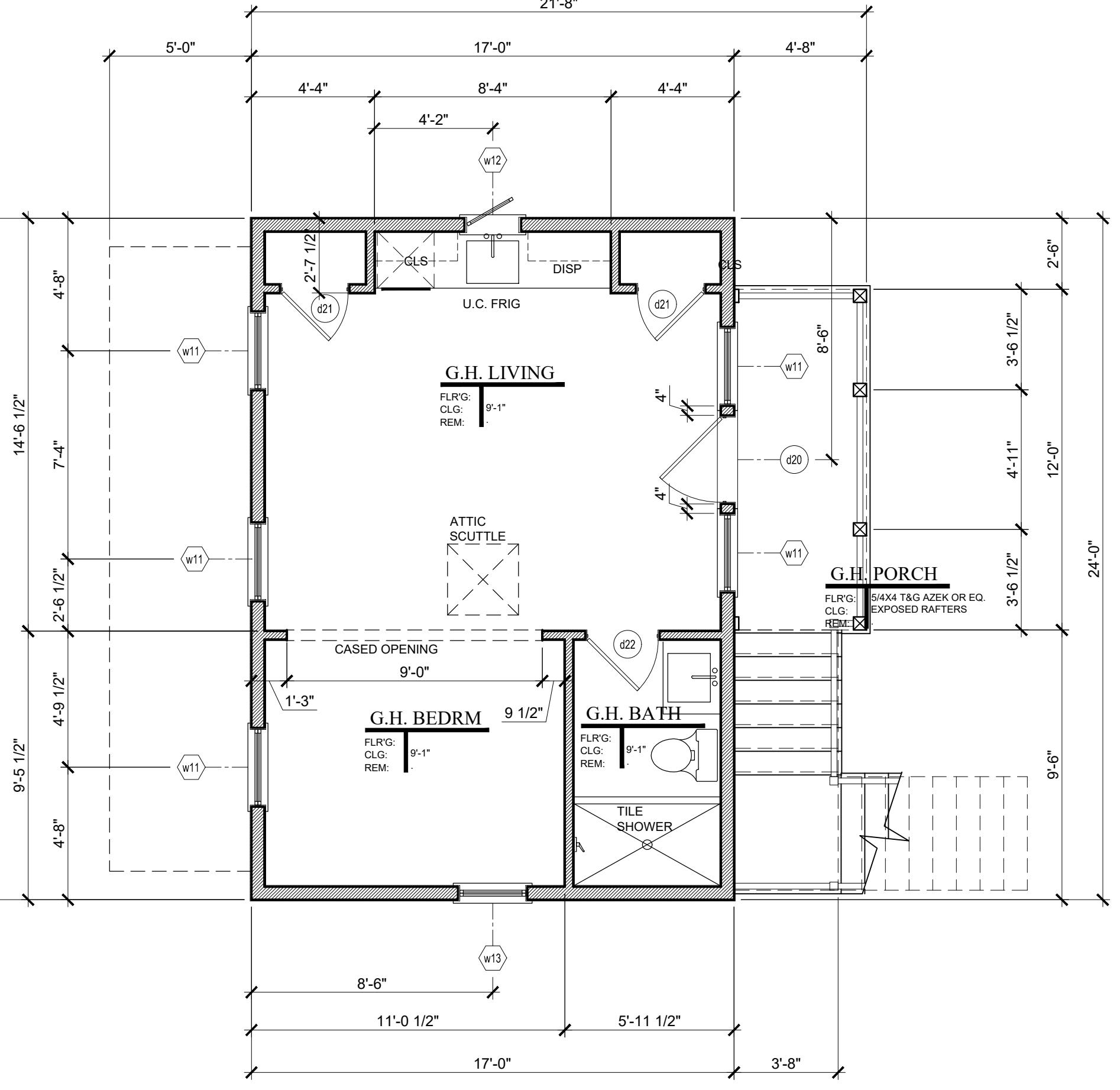
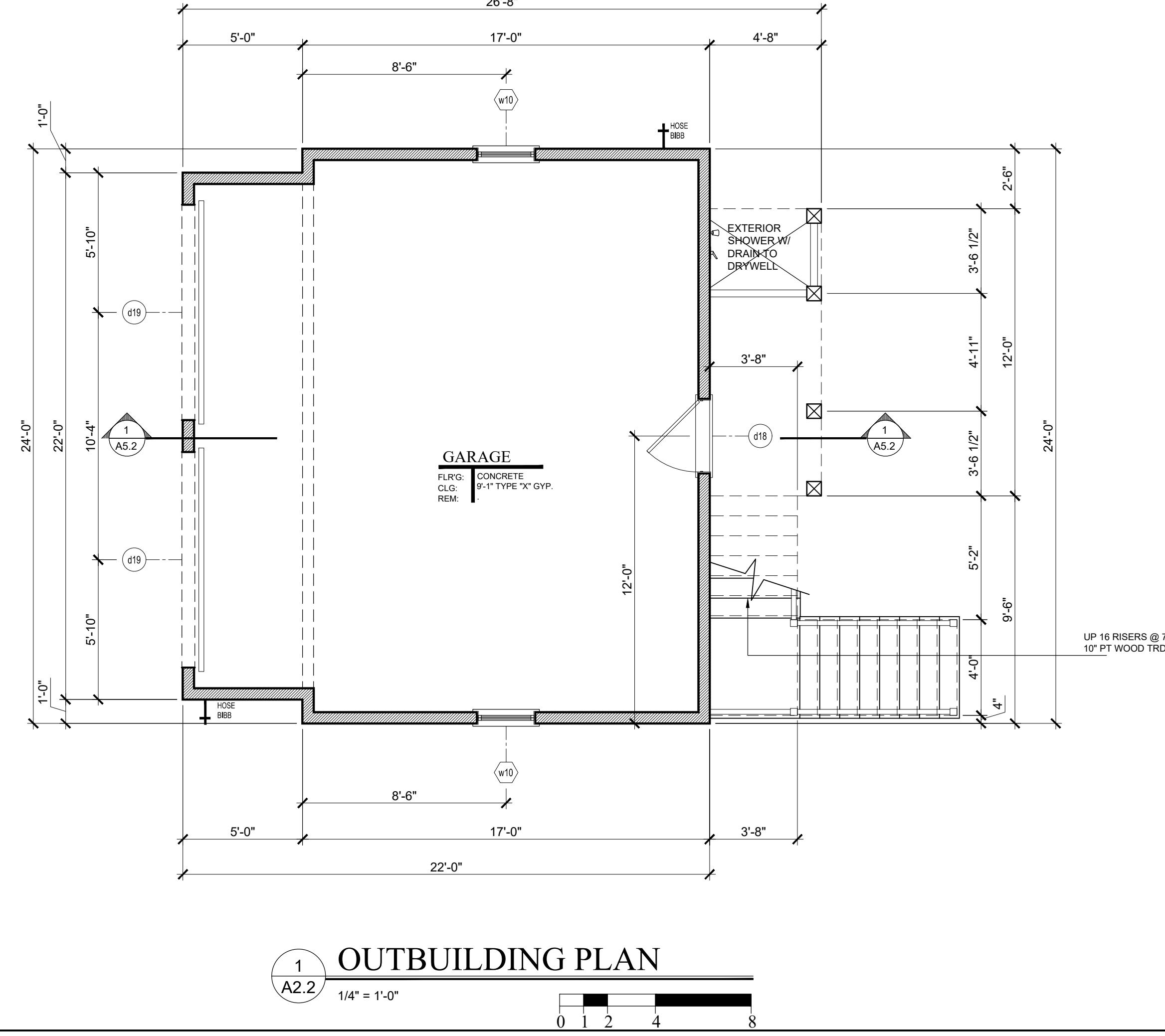


**8X8 COLUMN DETAIL**

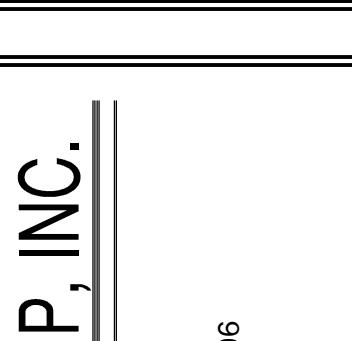


**10X10 COLUMN DETAIL**





# GUEST HOUSE PLAN

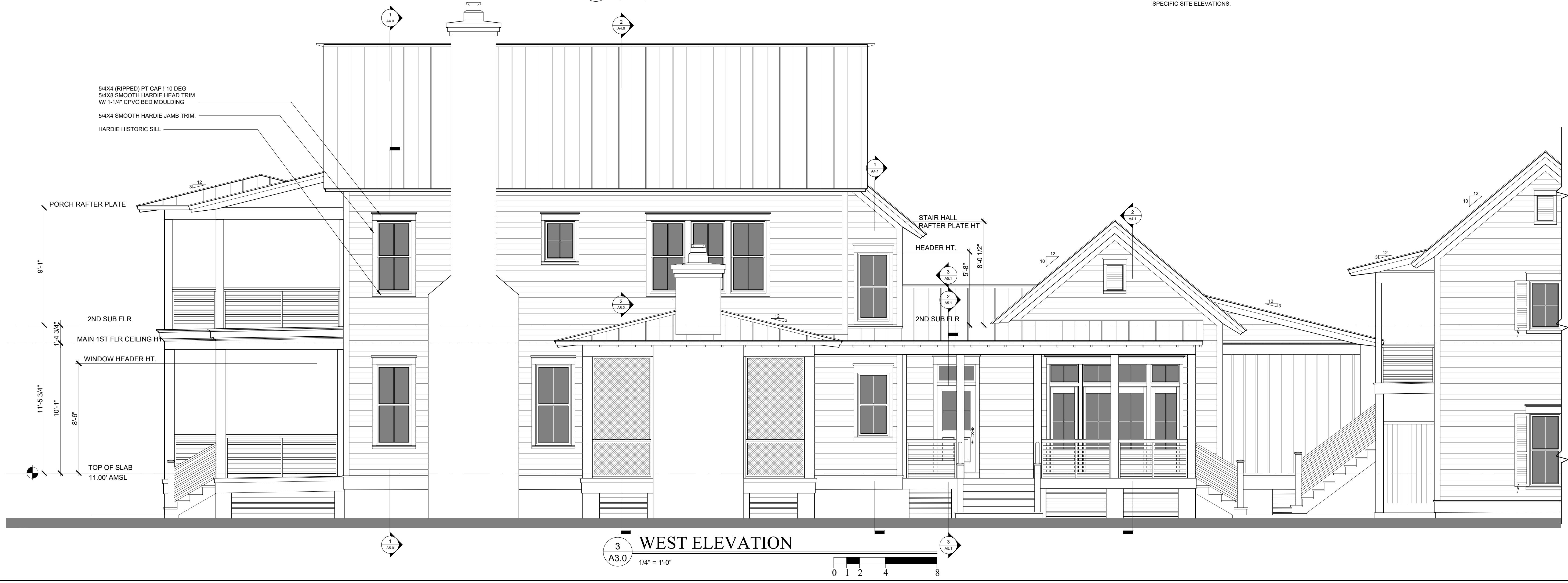
SHEET :	DATE :	<p>SEPT 9, 2019</p>  <p><b>MOSER DESIGN GROUP</b> Residential Design Urban Planning</p>
PROJECT :	REVISIONS :	<p><b>MOSER DESIGN GROUP, INC.</b></p> <hr/> <p><b>RESIDENTIAL DESIGNERS</b></p> <p>17 MARKET, NO.2 * BEAUFORT, SC 29906  <a href="mailto:info@moserdesigngroup.com">info@moserdesigngroup.com</a>  PHONE (843) 379-5630</p>
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RIVERSIDE HOMES	REVISIONS :	<p><b>PARK HOUSE FOR:</b></p> <p><b>RIVERSIDE HOMES</b></p> <p><b>LOT #76 (71) OLD WELL ROAD</b></p> <p><b>FERNANDINA BEACH, FLORIDA 32034</b></p> <p>Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. Therefore, it is the purchaser's responsibility to consult with the proper construction professionals to ascertain the suitability of these plans for that site and, if necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction advisors.</p>
A2.2	REVISIONS :	<p><b>A2.2</b></p>





FINISH GRADE LINES SHOWN ARE APPROXIMATE. VERIFY THAT FINISHED GRADE SLOPES AWAY FROM BUILDING AT LEAST 4'-0", BUT NOT ON TO ADJACENT PROPERTIES. BUILDER SHALL ESTABLISH FINISHED FLOOR ELEVATION IN ACCORDANCE WITH LOCAL CODES. BUILDER SHALL ALSO MAINTAIN ADEQUATE CLEARANCE BETWEEN FINISHED GRADE AND ANY WOOD CONSTRUCTION. NUMBER OF STEPS TO GRADE DEPEND ON SPECIFIC SITE ELEVATIONS.

# PARK ELEVATION (NORTH)



SEPT 9, 2019



DATE:

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## PROJECT:

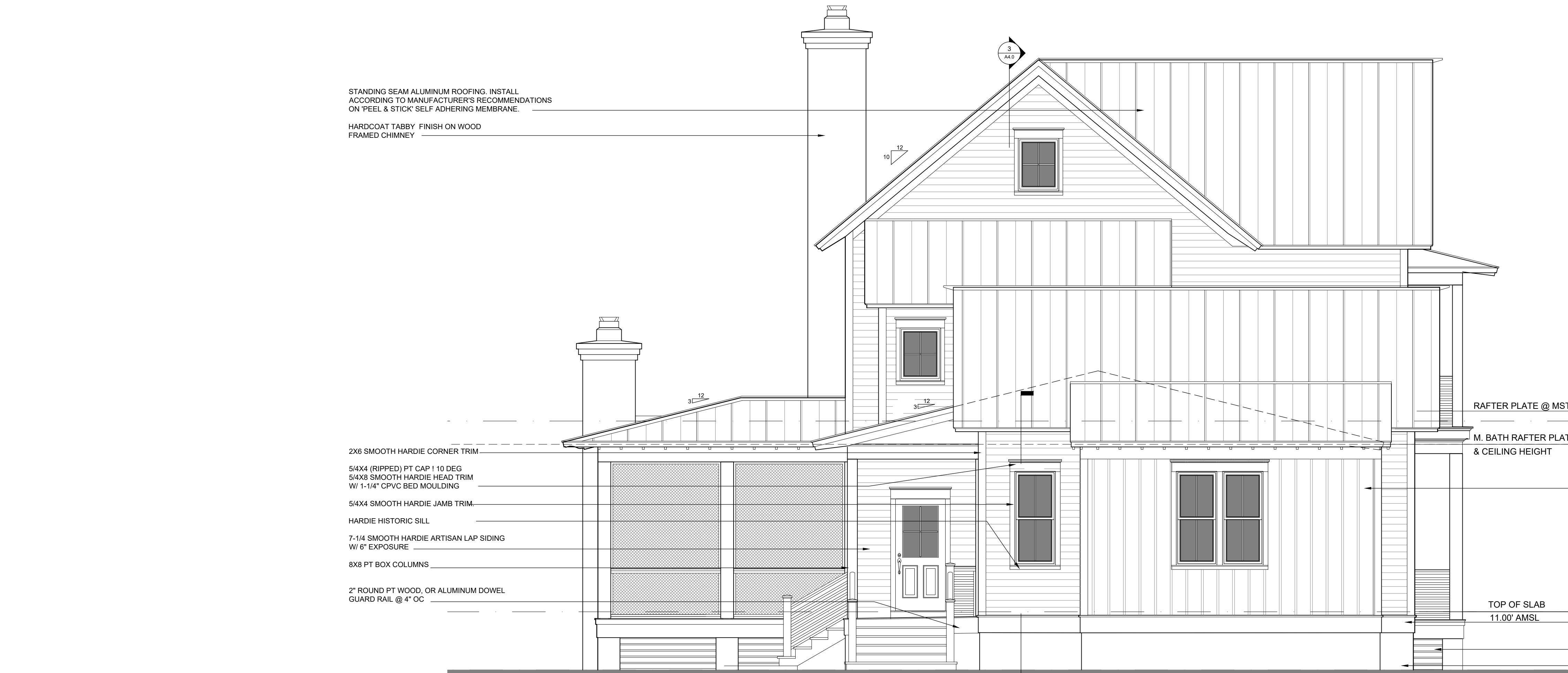
PARK HOUSE FOR:

RIVERSIDE HOMES  
LOT #76 (71) OLD WELL, FLORIDA 32034

FERNANDINA BEACH, FLORIDA

Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site; therefore, it is the responsibility of the purchaser to ascertain the applicable codes and regulations and to ascertain the sufficient time and funds available to make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction adviser.

A3.1

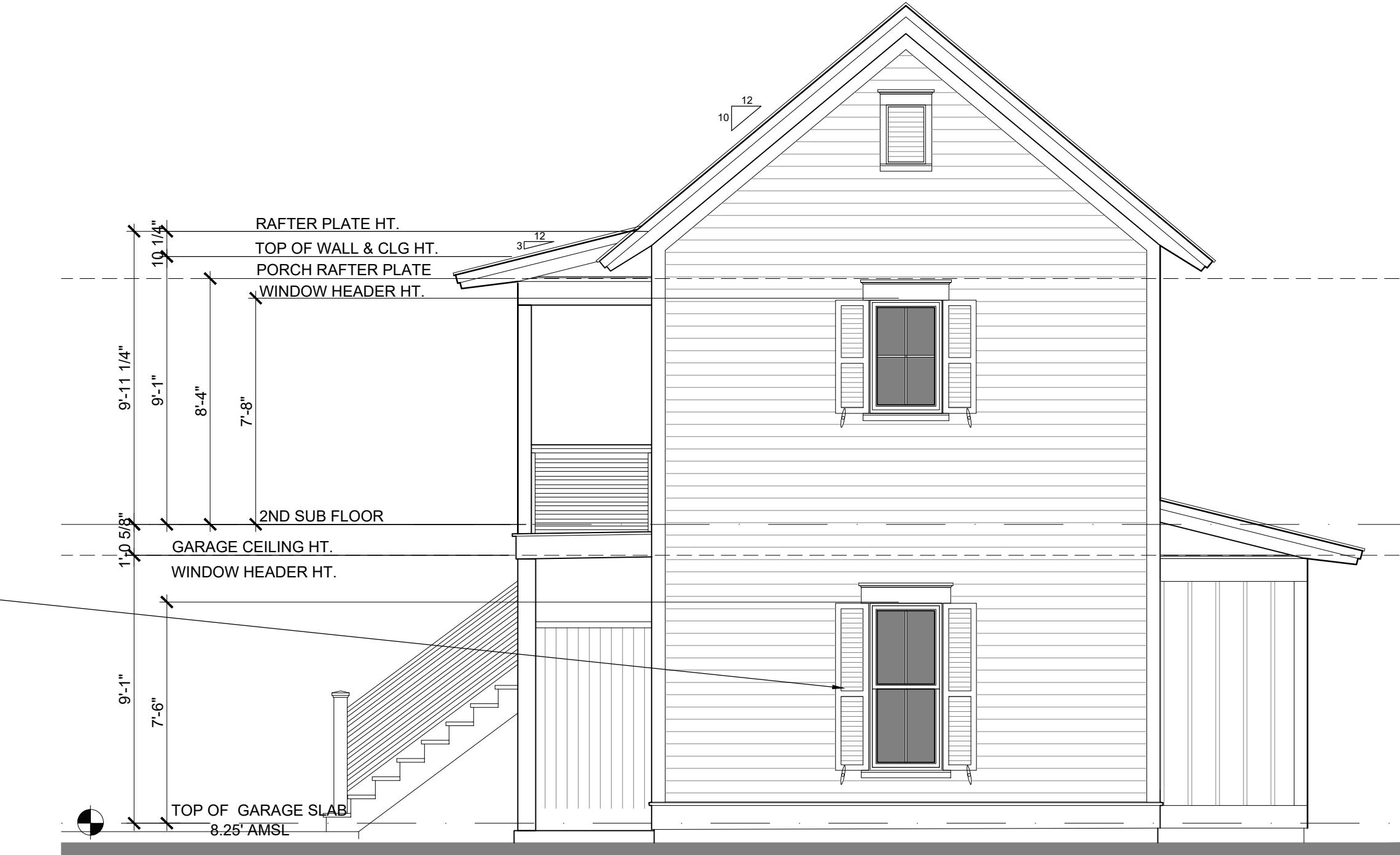




# PARK ELEVATION (NORTH)

- STANDING SEAM ALUMINUM ROOFING. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS ON 'PEEL & STICK' SELF ADHERING MEMBRANE.

- PT BOX BEAM
- 6X6 PT BOX COLUMNS
- 2" ROUND PT WOOD, OR ALUMINUM DOWEL  
GUARD RAIL @ 4" OC
- 2X6 SMOOTH HARDIE CORNER TRIM
- 7-1/4 SMOOTH HARDIE ARTISAN LAP SIDING  
W/ 6" EXPOSURE
- 8X8 PT BOX COLUMNS
- CEDAR, OPERABLE, SHUTTERS  
SIZED TO FIT OPENING
- OUTDOOR SHOWER
- 5/4X6 PT BOARDS SPACED 1" APART
- PT STAIRS
- 5/4X4 PT DRIP CAP @ 10 DEGS  
OVER 1X10 SMOOTH HARDIE SKIRT BD.



**2** WEST ELEVATION

This architectural elevation diagram illustrates vertical dimensions across different levels of a building. The vertical axis is marked with horizontal dashed lines representing various levels.

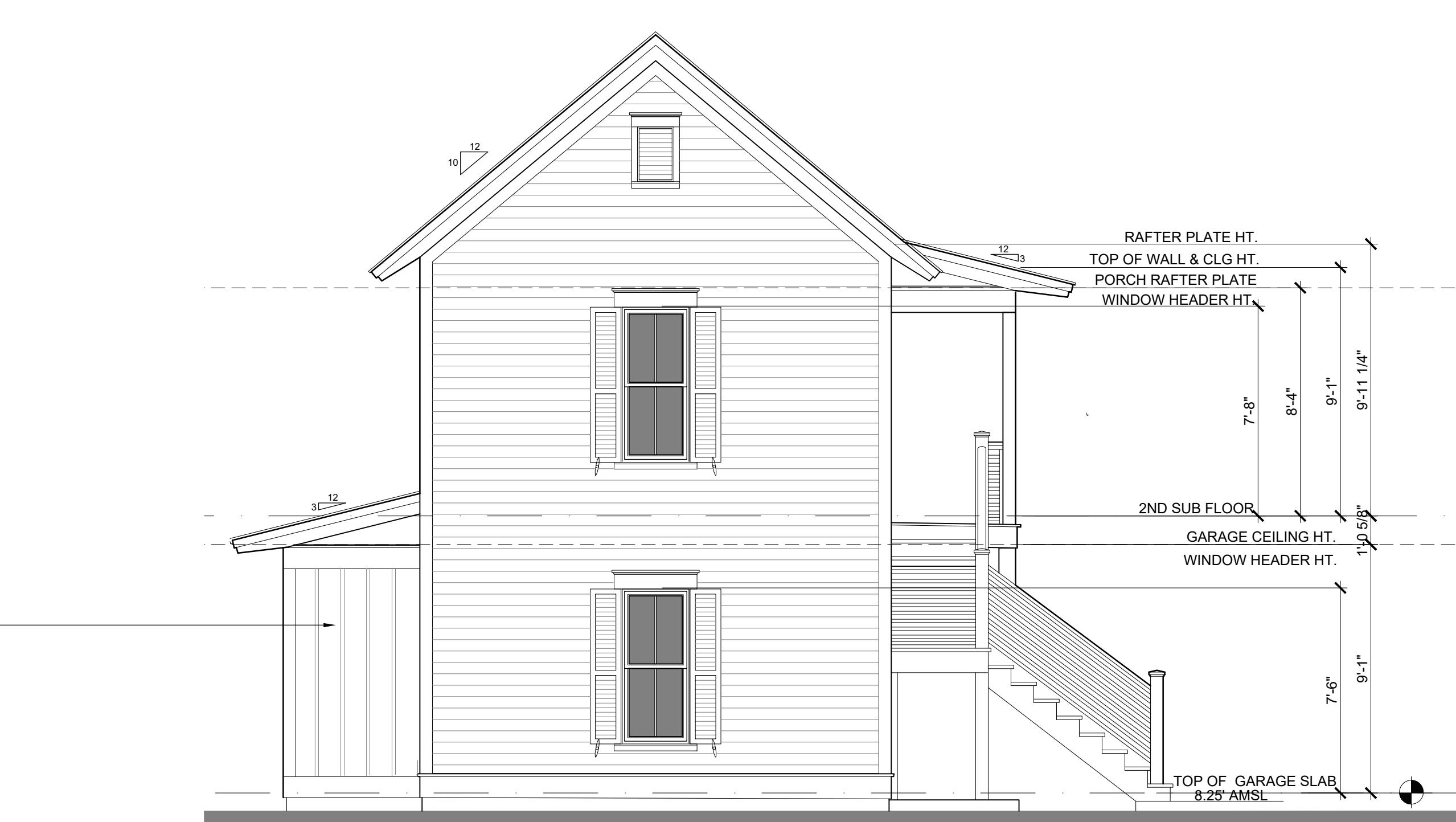
- Top Level:** Labeled "RAFTER PLATE HT." at 10' 1 1/4".
- Second Subfloor:** Labeled "2ND SUB FLOOR" at 1' 0 5/8".
- Garage Ceiling Height:** Labeled "GARAGE CEILING HT." at 9' 1".
- Window Header Height:** Labeled "WINDOW HEADER HT." at 7' 8".
- Middle Level:** Labeled "TOP OF WALL & CLG H." at 8' 4".
- Porch Area:** Labeled "PORCH RAFTER PLATE" at 9' 1 1/4".
- Ground Floor:** Labeled "WINDOW HEADER HT." at 7' 6".
- Bottom Level:** Labeled "9'-11 1/4'" at 1' 0 5/8".

The diagram also shows a staircase leading down from the ground floor level.



# 1 SOUTH ELEVATION

- 5/4X10 SMOOTH HARDIE FRIEZE BOARD
- 5/16" SMOOTH HARDIE WALL FINISH W/ 1" HARDIE BATTEN STRIPS @ 9-1/2" OC
- 5/4X8 SMOOTH HARDIE CORNER BOARD
- CARRIAGE STYLE GARAGE DOORS

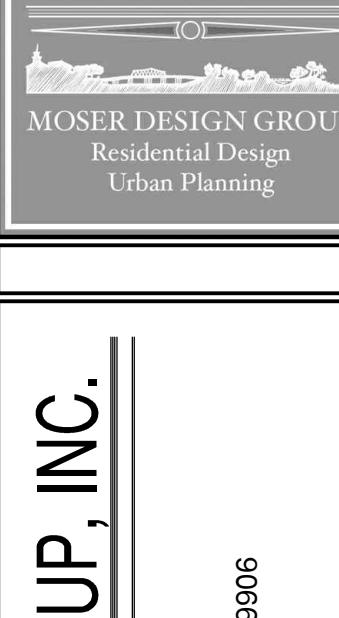


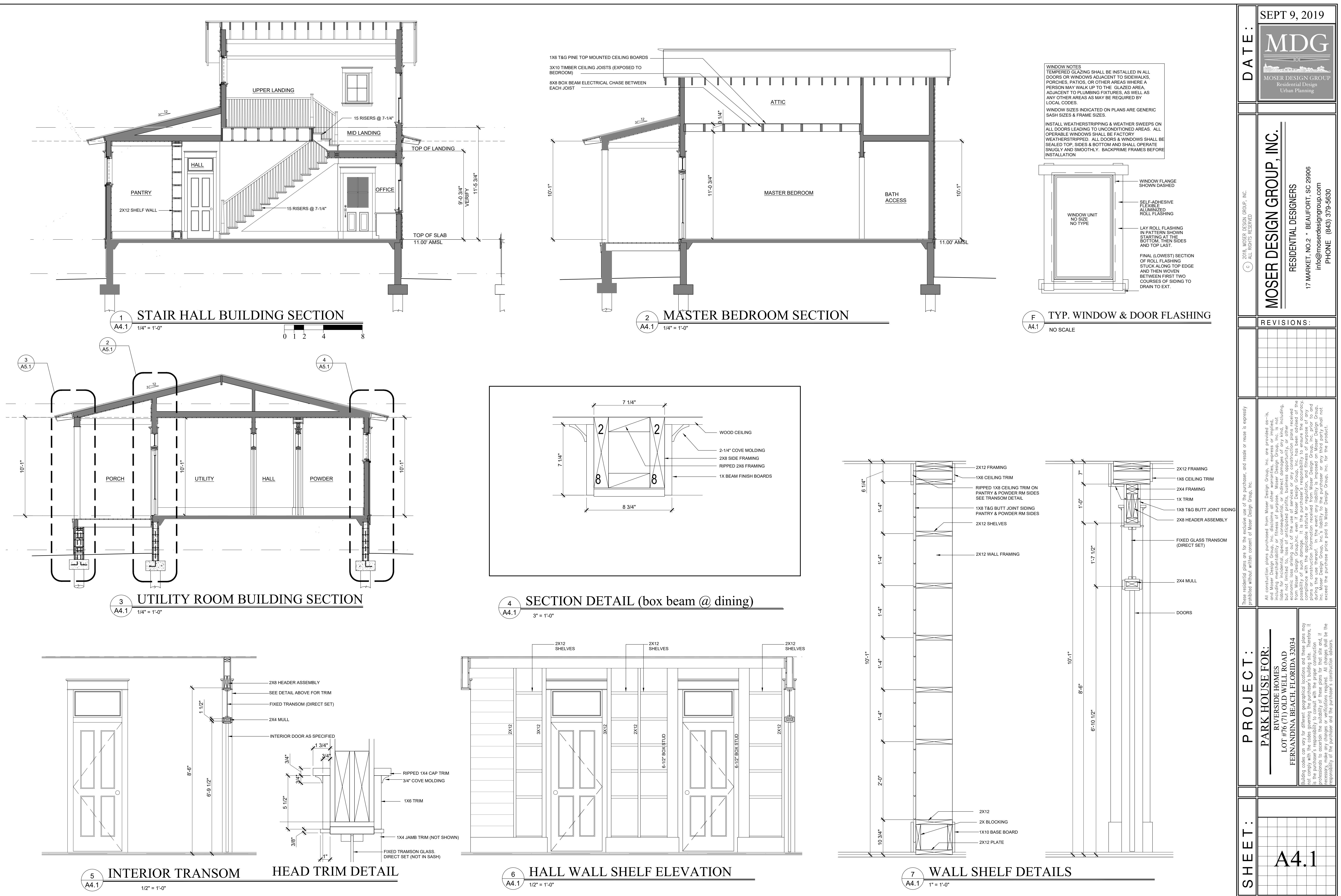
## **EAST ELEVATION**

This architectural elevation diagram illustrates the vertical dimensions of a building section. The height is measured from the ground level (0') up to the rafter plate height (10' 1 1/4"). Key points marked along the vertical axis include:

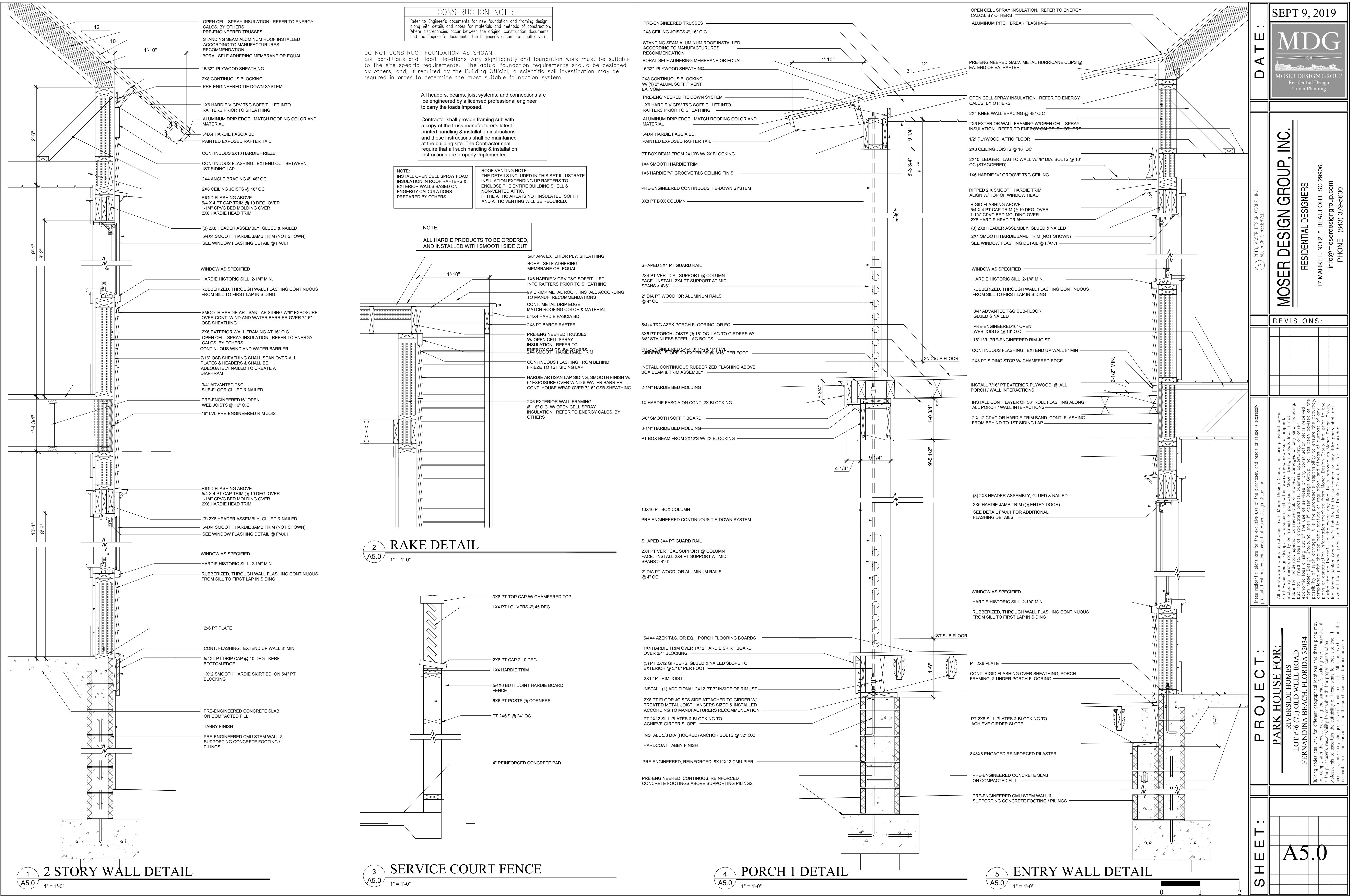
- 10' 1 1/4" : Rafter Plate HT.
- 9'-11 1/4" : Top of Wall & Clg H.
- 9'-1" : Porch Rafter Plate
- 8'-4" : Window Header HT.
- 7'-8" : 2ND SUB FLOOR
- 6' 10 5/8" : Garage Ceiling HT.
- 5' 10" : Window Header HT.
- 9'-1" : Rafter Plate HT.
- 7'-6" : Top of Wall & Clg H.

The diagram also shows a staircase and a support column on the right side.

SHEET:	A3.2
PROJECT:	<p><u>PARK HOUSE FOR:</u></p> <p>RIVERSIDE HOMES LOT #76 (71) OLD WELL ROAD FERNANDINA BEACH, FLORIDA 32034</p>
REVISIONS:	
DATE:	<p>SEPT 9, 2019</p> <p><b>MDG</b></p>  <p>MOSER DESIGN GROUP Residential Design Urban Planning</p>
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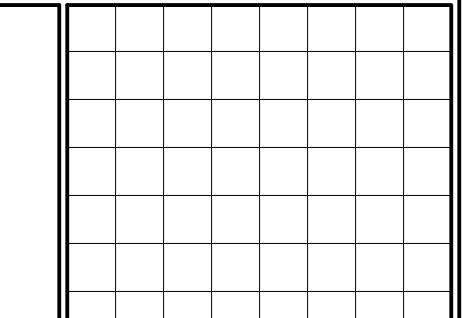
SEPT 9, 2019



DATE:

**RESIDENTIAL DESIGNERS**  
17 MARKET, NO. 2 - BEAUFORT, SC 29906  
info@moserdesigngroup.com  
PHONE (843) 379-3630

REVISIONS:

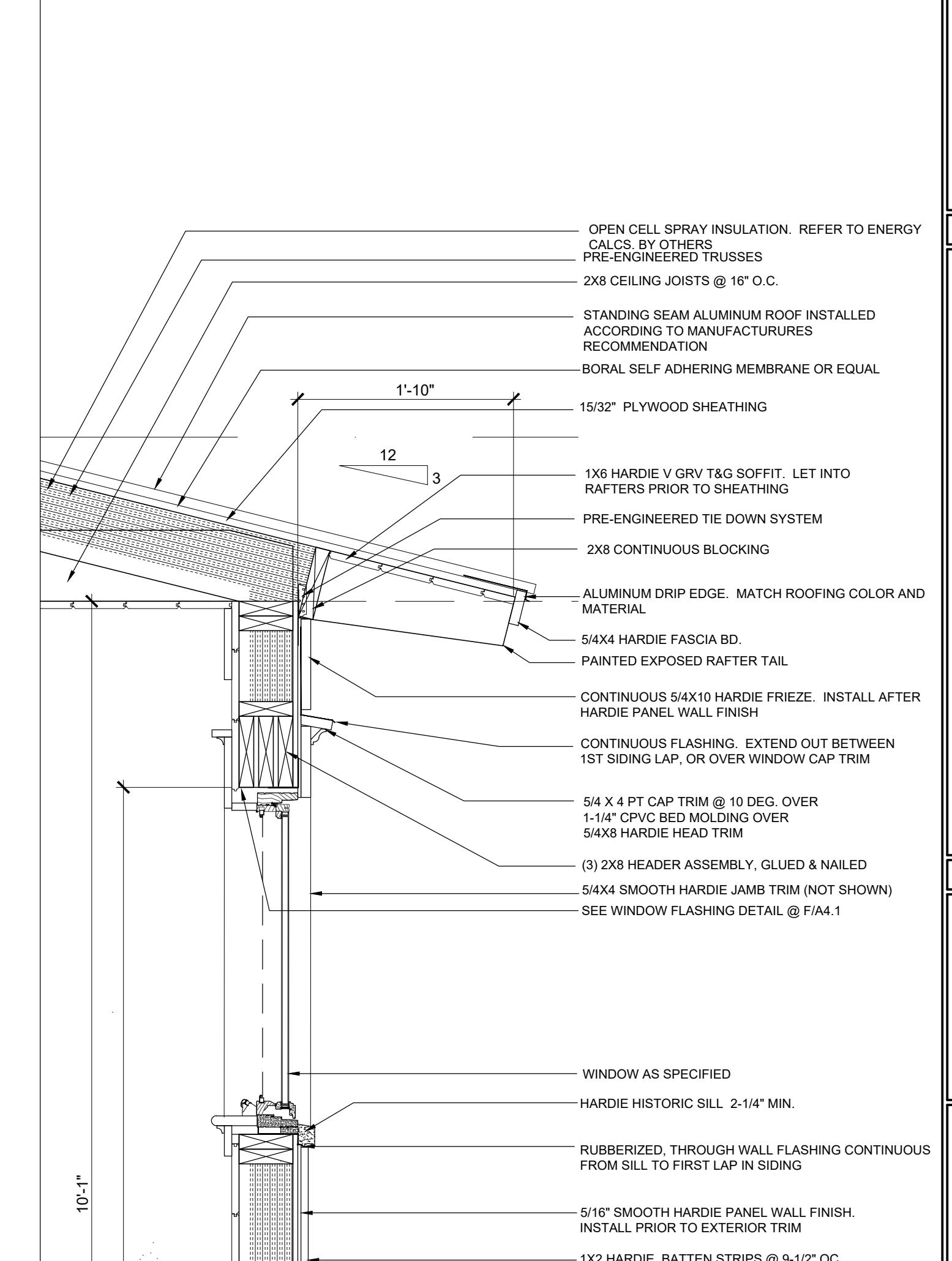
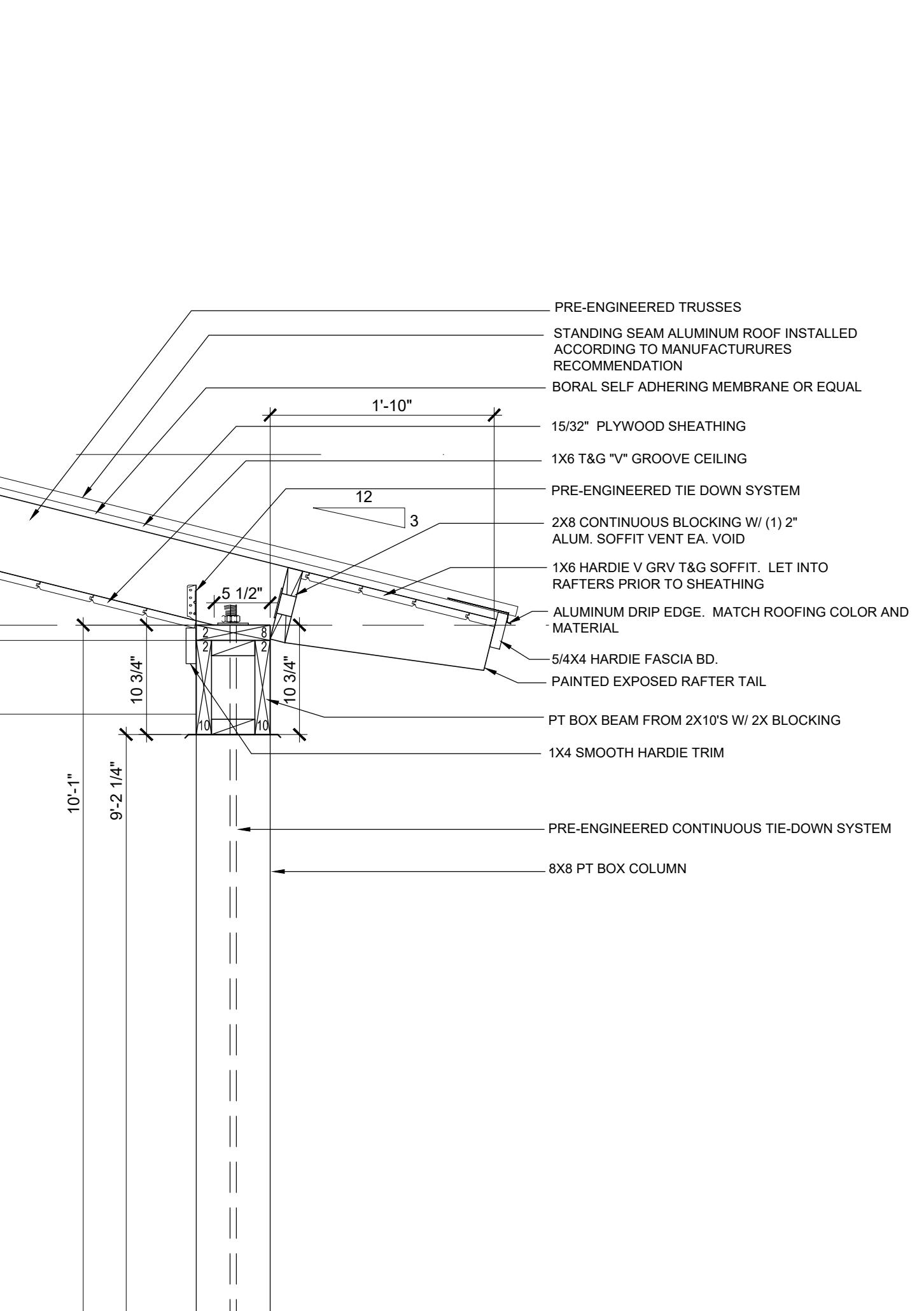
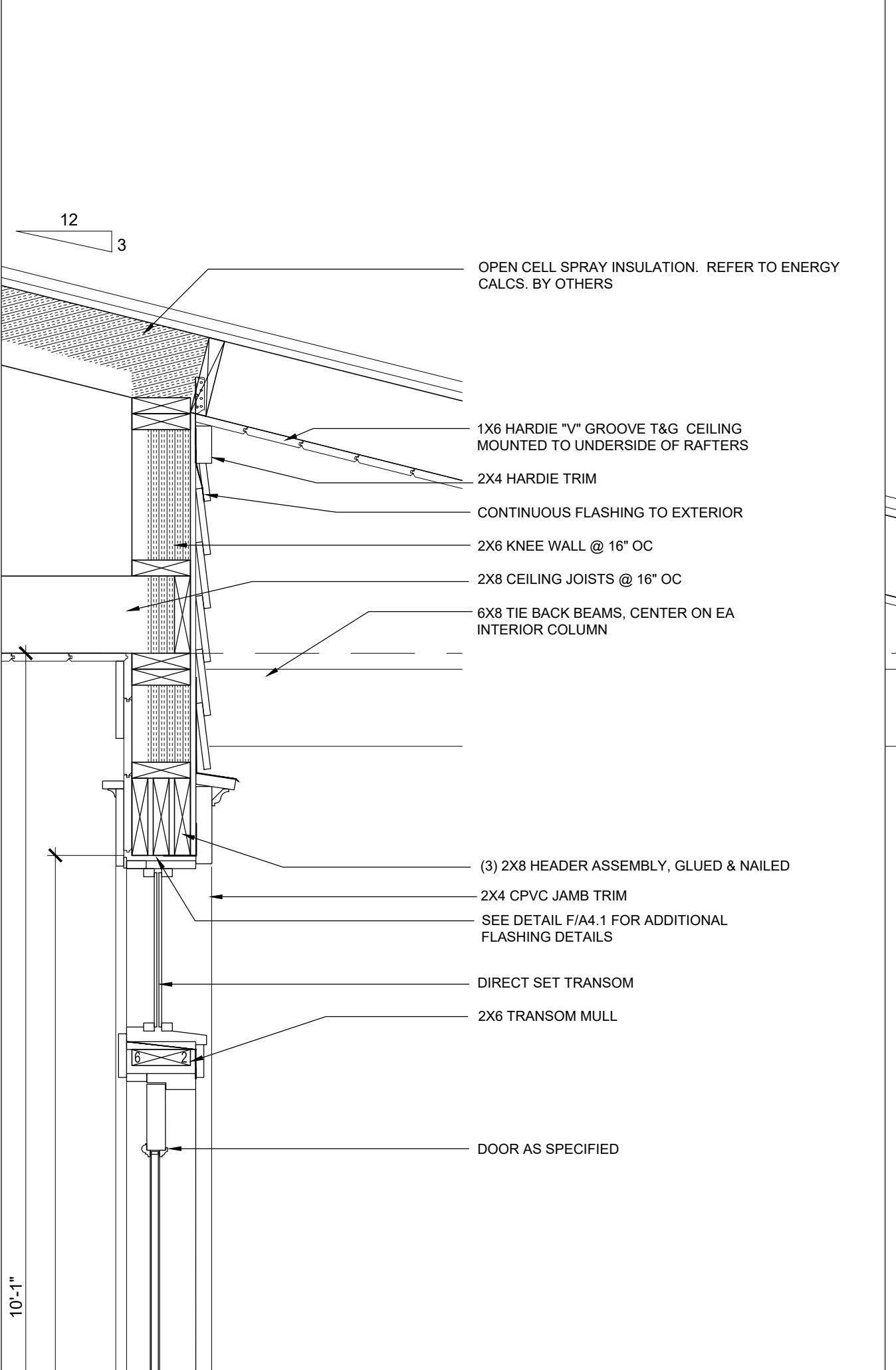
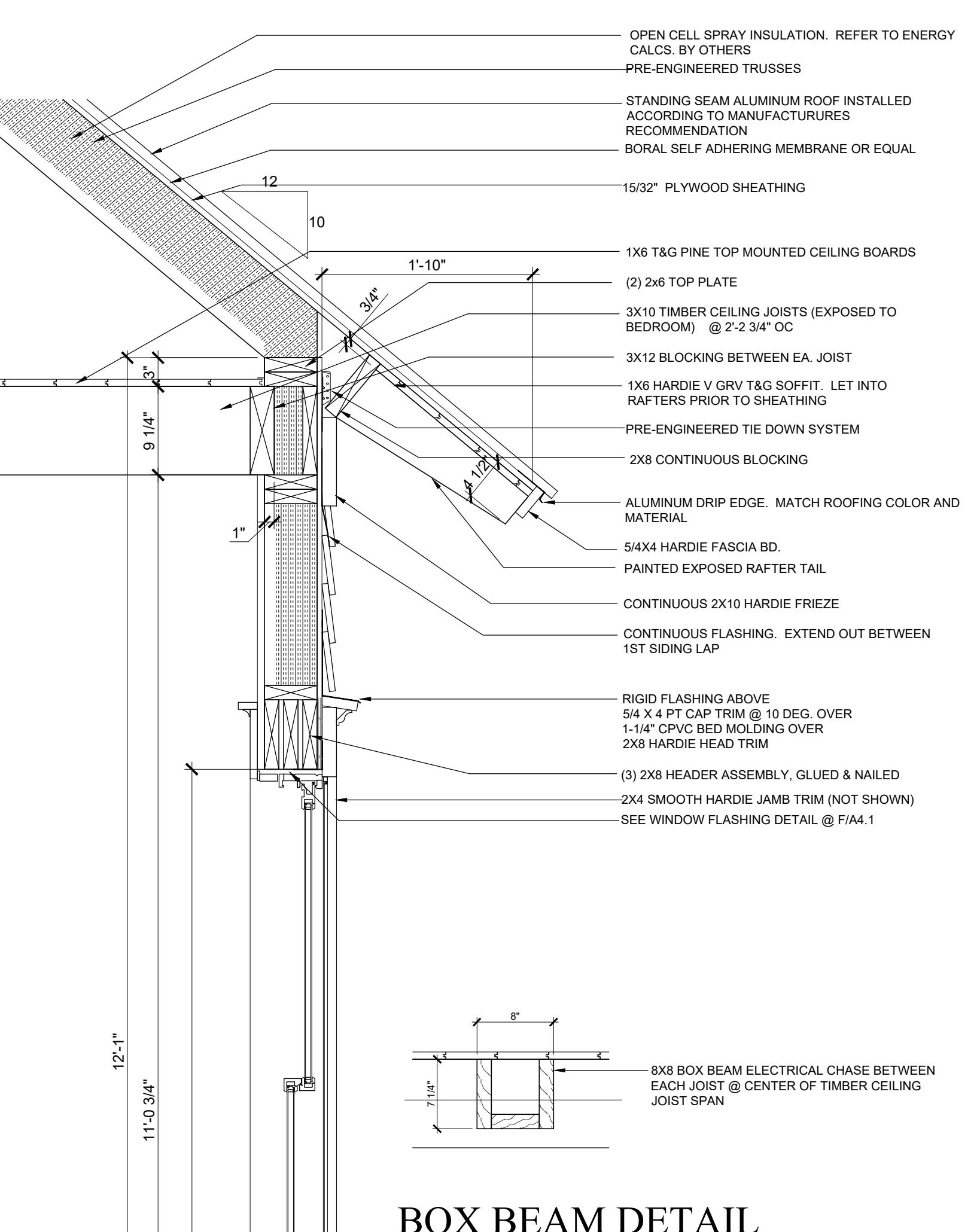


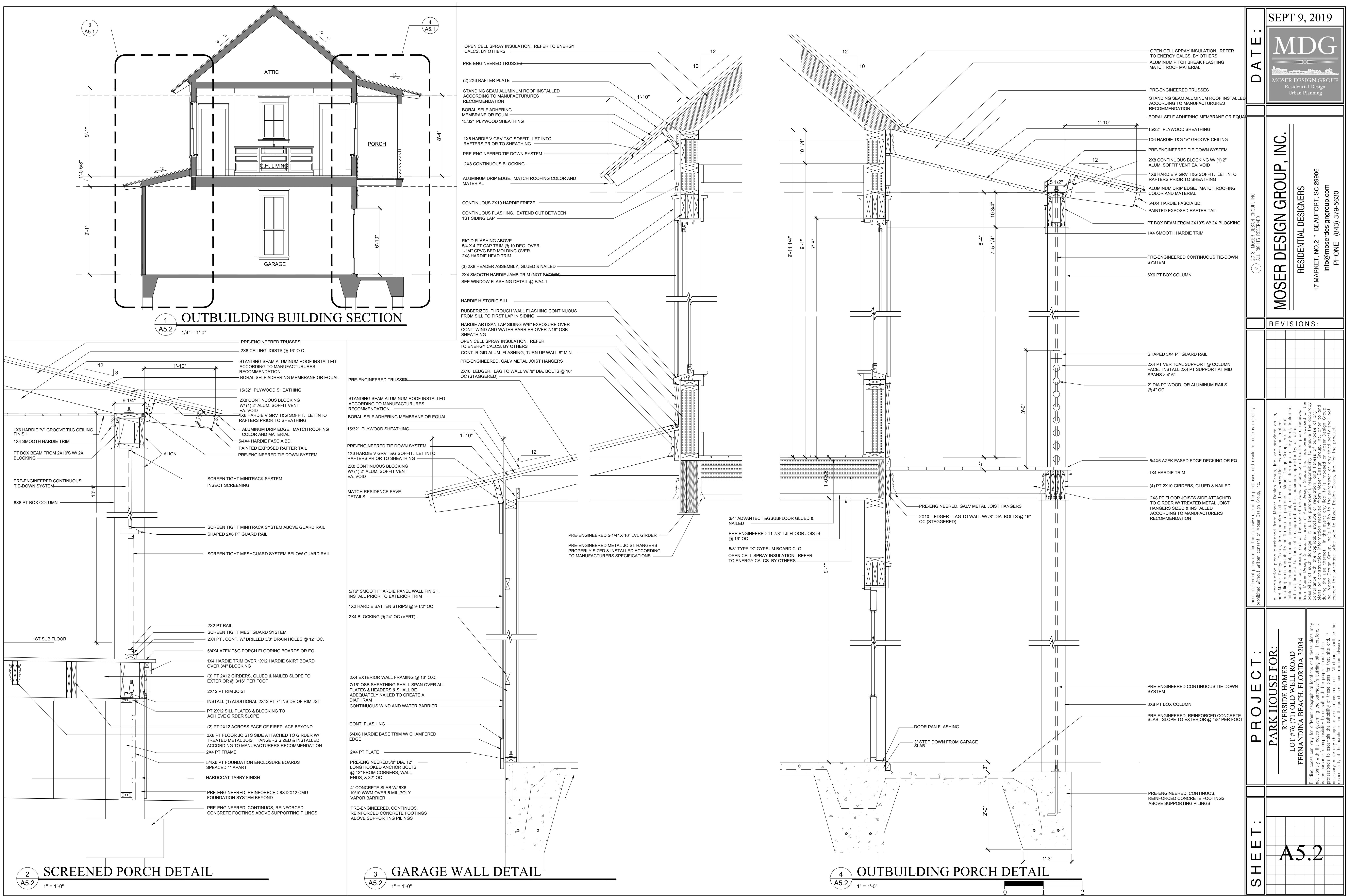
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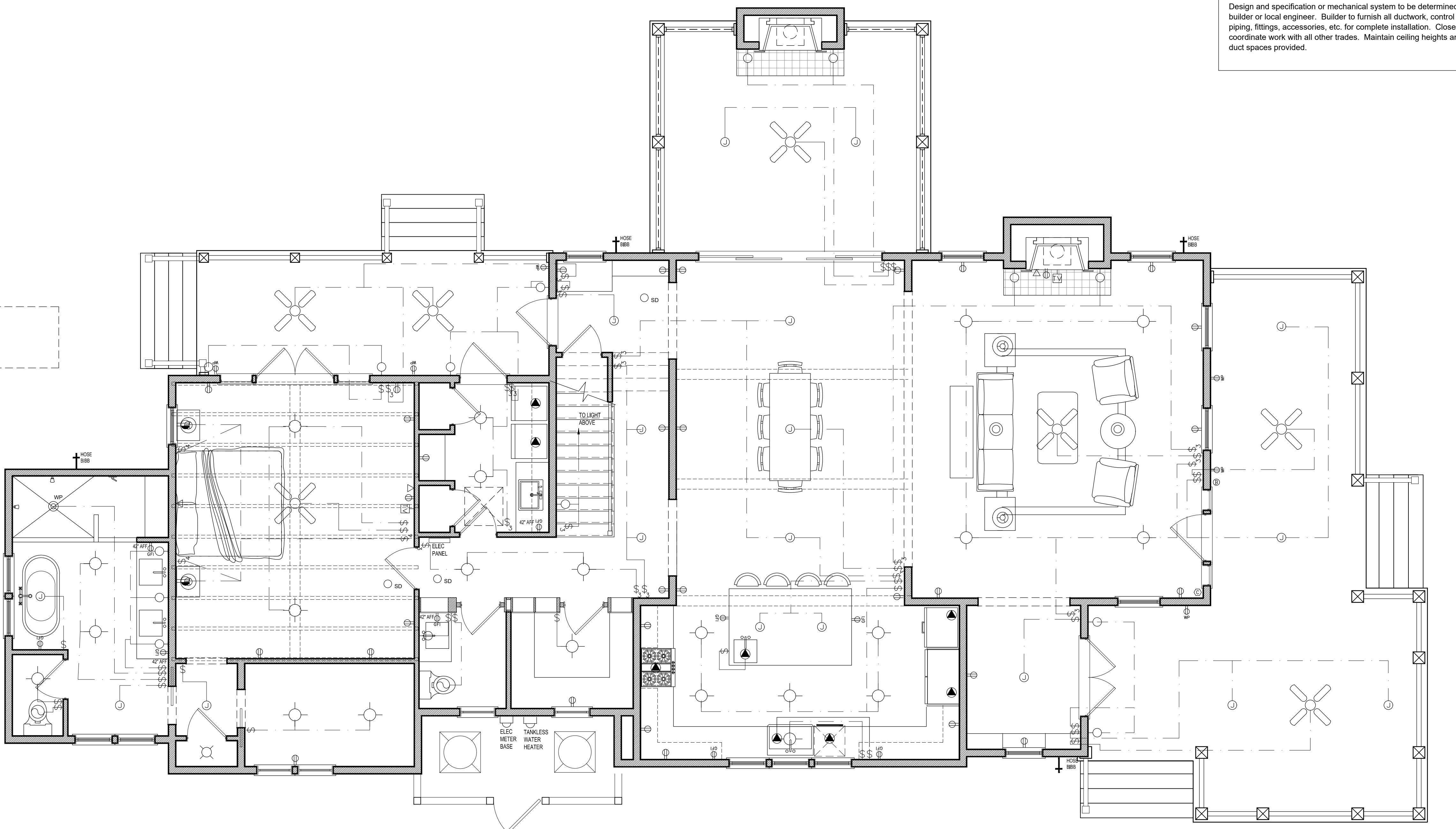
**PROJECT:**  
PARK HOUSE FOR:  
RIVERSIDE HOMES  
LOT #76 (71) OLD WELL ROAD  
FERNANDINA BEACH, FLORIDA 32034

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**SHEET:**  
**A5.1**







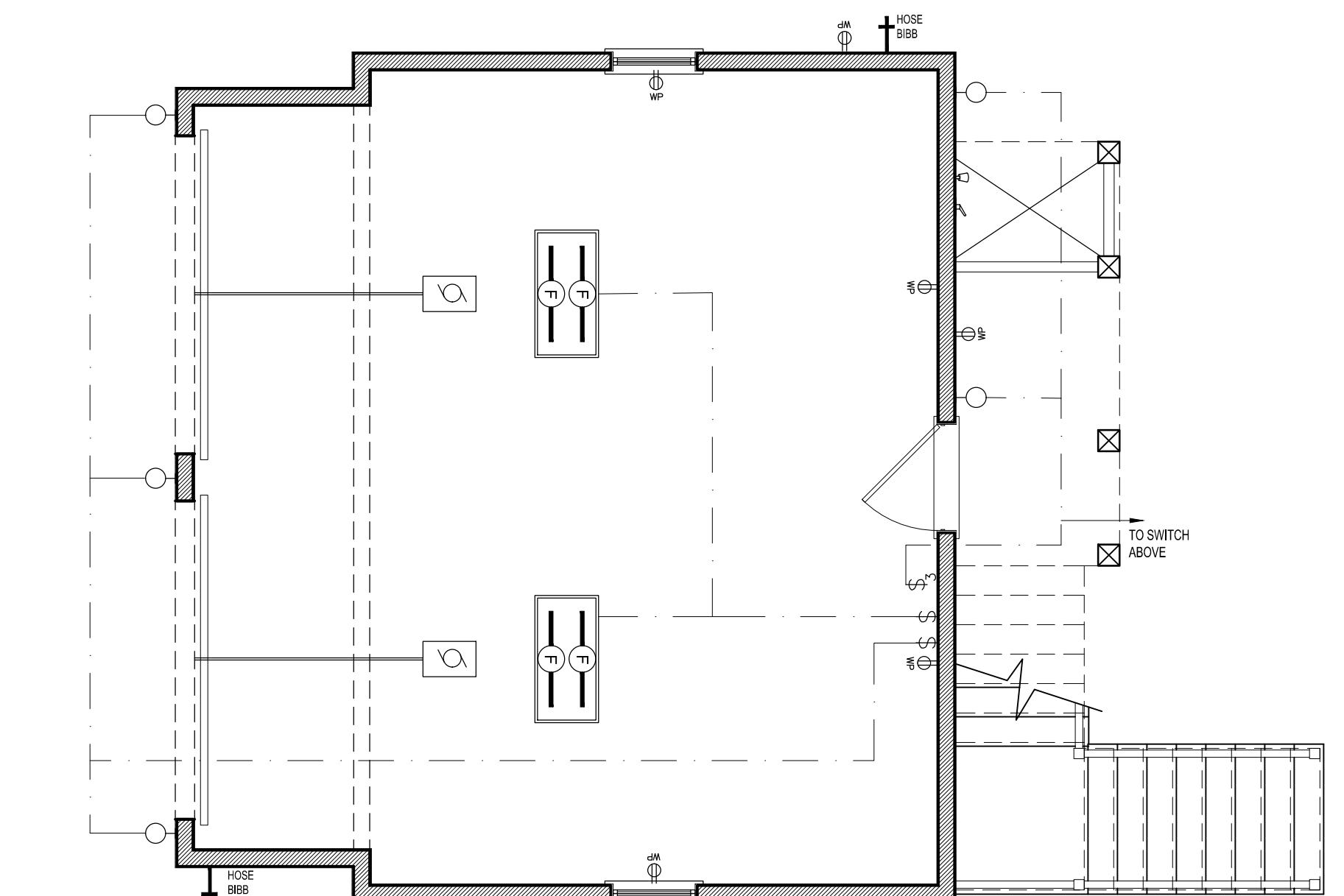
1 FIRST FLOOR ELECTRICAL PLAN  
E1.0 1/4" = 1'-0"

		PLUMBING NOTES	
1. System shall be designed in accordance with all applicable codes, standards and requirements of local utility officials.			
2. Insulate all domestic water supply lines in un-insulated spaces with tubular foam insulation. Insulation shall be of self-sealing type or shall be taped closed with foil faced tape.			
3. Center all fixtures in space allocated unless noted otherwise. Coordinate placement of all drains with flooring subcontractor.			
4. Cleanouts shall extend to surfaces or shall be provided with access doors or similar devices. Cap all pipe to be left open overnight and protect pipe during installation from dirt, gravel, and other debris which might cause blockages or flow restrictions. All valves, cleanouts and control devices shall be accessible for operation and maintenance through access doors or panels manufactured for such purposes.			
5. Lead solder is not allowed on this project.			
6. Soil and vent stacks shall have cleanouts as required by applicable codes for proper maintenance.			
7. Coordinate with an electrician concerning items requiring electrical service such as water coolers, sensor flush valves and water heaters. Coordinate service and ampacity required.			
8. Seal to wall, floor or countertop around all fixtures with tub and tile sealant to match color of fixture unless otherwise noted.			
		MECHANICAL NOTES	
Design and specification or mechanical system to be determined by builder or local engineer. Builder to furnish all ductwork, control wiring, piping, fittings, accessories, etc. for complete installation. Closely coordinate work with all other trades. Maintain ceiling heights and duct spaces provided.			
		ELECTRICAL LEGEND	
SURFACE MOUNT LIGHT FIXTURE LED LIGHTING SURFACE MOUNTED LIGHT WALL MOUNT LANTERN WALL MOUNT PICTURE LIGHT 2X4 FLUORESCENT LIGHT UNIT JUNCTION BOX FOR HANGING FIXTURE VENT/LIGHT COMBINATION SINGLE POLE SWITCH 3-WAY SWITCH 4-WAY SWITCH GLOW SWITCH DOOR BELL DOOR BELL CHIMES 110V DUPLEX RECEPTACLE 1/2 SWITCHED RECEPTACLE FLOOR RECEPTACLE GFI DUPLEX RECEPTACLE WATER PROOF RECEPTACLE 220V HOOK-UP APPLIANCE HOOK-UP CABLE TV HOOK-UP TELEPHONE JACK THERMOSTAT SMOKE DETECTOR 80 GAL HOT WATER HEATER THERMO-CONTROLLED ATTIC VENT FAN HVAC AIRHANDLER ELECTRICAL MAIN PANEL ELECTRIC METER BASE			
		RESIDENTIAL DESIGNERS	
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		ADDITIONAL ELECTRICAL HOOK UP:	
WATER HEATER HOOKUP IN ATTIC ATTIC VENT FAN HOOKUP IN ATTIC AIR HANDLER HOOKUP IN ATTIC JUNCTION BOX ELECTRIC TO PROVIDE LIGHT FIXTURE OR CEILING FAN FOR EACH JUNCTION BOX SHOWN ON PLAN PER OWNERS SELECTION.			
		ELECTRICAL NOTES	
1. Drawings are diagrammatic only. They do not illustrate conduit, wiring, panels, breakers, disconnects, accessories, etc. It is the builders responsibility to correctly locate and install all items necessary to complete the electrical package, regardless of whether they shown on this drawing. Builder to verify electrical design and installation is in accordance with all applicable codes, standards and requirements.			
2. Install outlets to the following specifications, or to meet local building codes. Install GFCI outlets in all wet locations, kitchen and bathroom. In the kitchen, outlets must be every 4' at counter as required by applicable codes. These areas include receptacles in a bathroom, kitchenette, or other area where running water is present or areas exposed to the weather. Use AFCI outlets and switches in the bedroom. Use WP outlet as exterior.			
3. Install hardwired smoke detectors with battery backup. Interconnect detectors so that all will sound should one detector activate. Verify number of smoke detectors required and locations with owner and code requirements. Detectors shall be installed in all sleeping areas and just outside bedrooms as a minimum.			
4. Some equipment may require electrical service, such as water heaters, air conditioning units, condensate pumps, etc. Electrical contractor shall include electrical service to all such equipment. Coordinate with other trades concerning items requiring electrical service. Coordinate service and ampacity required. Provide one duplex outlet and one light if unit is in non-lit area for every condensing unit and every air-handling unit as required by applicable codes. Outlet shall be weatherproof GFCI if unit is exposed to weather.			
5. Provide panel boards of proper voltage and ampacity for all electrical circuits.			
6. Verify service requirements with local power company including transformer locations and types, disconnects, at exterior of building, voltages, ampacities and other details of electrical construction. Size all feeders according to NEC requirements.			
7. Run all cable concealed in walls, ceiling or floors unless noted otherwise.			
8. Provide blocking for all fixtures.			
9. Insulate and seal solidly behind receptacles in exterior walls.			
10. Light fixtures shall be centered in ceiling areas unless noted otherwise. The designer recommends that all light fixtures be surface mounted, not recessed can lights.			
11. Locate switches adjacent to but not intersecting door casings or trim. Switches shall typically be mounted 36" AFF to center of switch.			
12. Consult owner and add exterior security lighting if required. Verify lighting type and switching.			
AUXILIARY SYSTEMS NOTES			
1. No alarm systems, telephone outlets or computer outlets are shown. Verify alarm requirements with owner and install as required.			
		SHEET: E1.0	
		DATE: SEPT 9, 2019	
		MDG MOSER DESIGN GROUP Residential Design Urban Planning	
		17 MARKET, NO.2 • BEAUFORT, SC 29906 info@moserdsgroup.com PHONE (843) 379-5620	

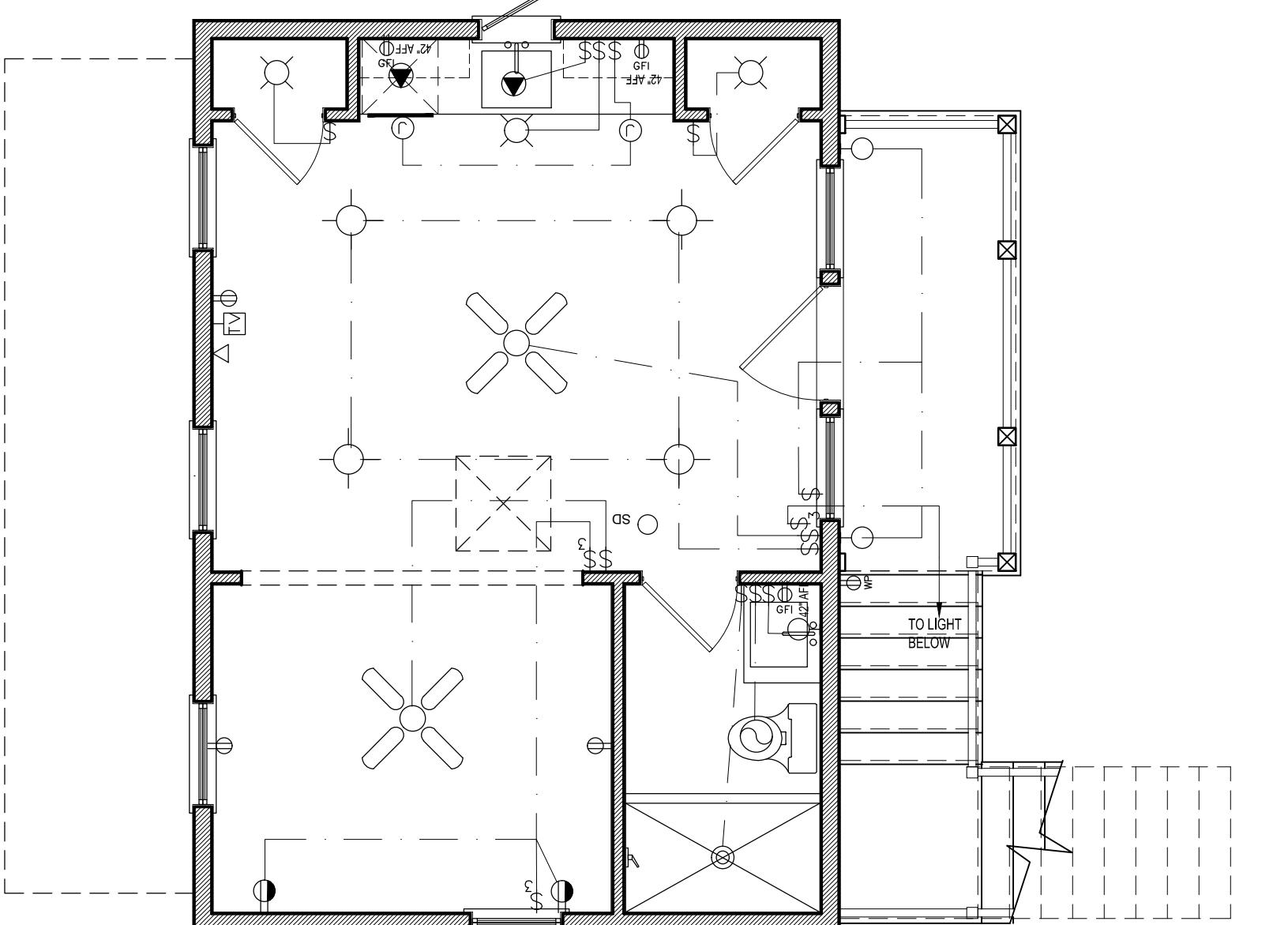


ELECTRICAL LEGEND	
	SURFACE MOUNT LIGHT FIXTURE
	LED LIGHTING
	SURFACE MOUNTED LIGHT
	WALL MOUNT LANTERN
	WALL MOUNT PICTURE LIGHT
	2X4 FLUORESCENT LIGHT UNIT
	JUNCTION BOX FOR HANGING FIXTURE
	VENT/LIGHT COMBINATION
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	GLOW SWITCH
	DOOR BELL
	DOOR BELL CHIMES
	110V DUPLEX RECEPTACLE
	1/2 SWITCHED RECEPTACLE
	FLOOR RECEPTACLE
	GFI DUPLEX RECEPTACLE
	WATER PROOF RECEPTACLE
	220V HOOK-UP
	APPLIANCE HOOK-UP
	CABLE TV HOOK-UP
	TELEPHONE JACK
	THERMOSTAT
	SMOKE DETECTOR
	80 GAL HOT WATER HEATER
	THERMO-CONTROLLED ATTIC VENT FAN
	HVAC AIRHANDLER
	ELECTRICAL MAIN PANEL
	ELECTRIC METER BASE

DATE:	SEPT 9, 2019
RESIDENTIAL DESIGNERS:	MDG MOSER DESIGN GROUP Urban Planning
REVISIONS:	17 MARKET, NO.2 • BEAUFORT, SC 29906 info@moserdesigngroup.com PHONE (843) 379-5630
PROJECT:	PARK HOUSE FOR: RIVERSIDE HOMES LOT #76 (71) OLD WELL ROAD FERNANDINA BEACH, FLORIDA 32034
NOTE:	Revised without written consent from Moser Design Group, Inc.
<p>ADDITIONAL ELECTRICAL HOOK UP:</p> <ul style="list-style-type: none"> <li> WATER HEATER HOOKUP IN ATTIC</li> <li> ATTIC VENT FAN HOOKUP IN ATTIC</li> <li> AIR HANDLER HOOKUP IN ATTIC</li> <li> JUNCTION BOX</li> </ul> <p>ELECTRICIAN TO PROVIDE LIGHT FIXTURE OR CEILING FAN FOR EACH JUNCTION BOX SHOWN ON PLAN PER OWNERS SELECTION.</p>	
Sheet:	E1.2
<p>Building codes may vary for different geographical locations and alterations may be required. It is the responsibility of the purchaser to make sure the plans are in compliance with the applicable state or regional, city, county, and local building codes. It is the purchaser's responsibility to contact the appropriate authority having jurisdiction for a determination of what changes, if any, are required. Any alterations made to the plans must be done by a licensed architect or engineer. Any unauthorized changes made to the plans will void the plans. It is the responsibility of the purchaser to verify the plans for their specific needs. If necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction designer.</p>	



1 OUTBUILDING - GROUND LEVEL ELECTRICAL PLAN  
E1.2 1/4" = 1'-0"



2 OUTBUILDING - UPPER LEVEL ELECTRICAL PLAN  
E1.2 1/4" = 1'-0"

E1.2