LAKE + LAND

SARAH ALICE RESIDENCE

CRANE ISLAND, FL | LOT #78

GENERAL NOTES

1. THE CONTRACTOR SHALL FULLY COMPLY WITH THE MOST CURRENT IBC AS WELL AS ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE MOST CURRENT IEC AND IMC SHALL BE USED. THE CONTRACTOR SHALL BE LIABLE FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES INVOLVED.

2. THE CONTRACTOR SHALL USE ONLY WRITTEN DIMENSIONS, OR THOSE OTHERWISE DIRECTLY INDICATED BY LAKE AND LAND STUDIO, LLC. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND FOR THE CONDITIONS ON THE JOB.

3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.

4. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DETAILS CONTAINED WITHIN THE DESIGN PLANS; PRIOR TO THE INITIATION OF CONSTRUCTION, ANY SUSPECTED ERRORS, INCONSISTENCIES, AND/OR POTENTIAL DETAIL OMISSIONS ARE TO BE REPORTED TO LAKE AND LAND STUDIO, LLC FOR CLARIFICATION. THE CONTRACTOR SHALL NOT WORK WITHOUT CORRECT DESIGN PLANS. LAKE AND LAND STUDIO, LLC WILL NOT BE RESPONSIBLE FOR ANY IMPLICATIONS THAT RESULT SECONDARY TO A CONTRACTOR OR SUBCONTRACTOR'S CONSTRUCTION MEANS AND METHODS OR ACTS THAT ARE NOT COMPLETED IN ACCORDANCE WITH DESIGN PLANS.

5. THESE DESIGN PLANS ARE PROPERTY OF LAKE AND LAND STUDIO, LLC AND ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. USE OF THE DESIGN PLAN INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR ONE-TIME USE ONLY, AS OUTLINED WITHIN THE DESIGN PLAN PURCHASE AGREEMENT. ANY DUPLICATION, PUBLICATION, DISTRIBUTION, AND/OR SALE OF ANY PART(S) OF THE PLANS IS STRICTLY PROHIBITED. ANY UNAUTHORIZED USE OF THE COPYRIGHTED MATERIAL REPRESENTS A VIOLATION OF FEDERAL LAW AND IS SUBJECT TO THE PRESCRIBED PENALTIES UNLESS PRIOR WRITTEN PERMISSION FOR USE IS GRANTED BY LAKE AND LAND STUDIO, LLC.

6. PURCHASE AGREEMENT:
PURCHASE OF THESE DESIGN PLANS GRANTS THE BUYER THE RIGHT TO USE DOCUMENTS CONTAINED WITHIN FOR THE CONSTRUCTION OF A SINGLE HOME. THE BUYER ACKNOWLEDGES THAT THE TITLE, DESIGN PLANS (AND DERIVATIVES THEREOF), INTEREST IN COPYRIGHTS, AND ALL OTHER RIGHTS OF OWNERSHIP REMAIN WITH LAKE AND LAND STUDIO, LLC. ANY DESIGN PLAN MODIFICATIONS ARE CONSIDERED TO BE DERIVATIVES OF THE ORIGINAL AND ARE PROTECTED WITHIN THE COPYRIGHT PARAMETERS PREVIOUSLY STATED; PLAN DERIVATIVES MAY NOT BE SOLD, COPIED, OR USED FOR CONSTRUCTION OF ANY OTHER RESIDENCE.

7. LAKE AND LAND STUDIO, LLC WILL NOT BE HELD RESPONSIBLE FOR ANY FAULT RESULTING FROM UNAUTHORIZED USE OF ANY PART(S) OF THESE DESIGN PLANS (OR ANY AFTER-PURCHASE DESIGN MODIFICATIONS) IN ANY CONSTRUCTION OR BUILDING ACT.

8. LAKE AND LAND STUDIO, LLC RESERVES THE RIGHT TO MAKE MODIFICATIONS TO DESIGN PLANS, DRAWINGS, AND/OR MODELS AT ANY TIME; DETAILS IN IMAGES USED FOR MARKETING PURPOSES ON WEBSITES OR IN CATALOGS MAY NOT MATCH DESIGN PLANS EXACTLY.

9. LIMITATION OF LIABILITY:
LAKE AND LAND STUDIO, LLC SHALL NOT BE LIABLE FOR ANY SPECIAL, CONSEQUENTIAL, INCIDENTAL, OR INDIRECT DAMAGES ARISING FROM USE OF THE PLANS INCLUDING, BUT NOT LIMITED TO, DAMAGES FOR LOSS OF ANTICIPATED PROFITS OR LOSS OF BUSINESS OPPORTUNITY. TO THE EXTENT PERMITTED BY LAW, LIABILITY OF LAKE AND LAND STUDIO, LLC SHALL BE LIMITED TO THE RETAIL PRICE OF THE PLANS.

10. BUILDING CODES VARY BY LOCATION DUE TO VAST DIFFERENCES IN GEOGRAPHICAL AND CLIMATE RELATED FACTORS THAT IMPACT CONSTRUCTION. EACH STATE, COUNTY, AND MUNICIPALITY HAS ITS OWN RESPECTIVE BUILDING CODES, ZONE REQUIREMENTS, AND ORDINANCES FOR BUILDING REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO THE NECESSARY STATE, COUNTY, AND LOCAL OFFICIALS FOR PERMITTING OF CONSTRUCTION OF THIS PROJECT. DESIGN PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS REGARDING SNOW LOADS, ENERGY CODES, SOIL AND SEISMIC CONDITIONS, AND NUMEROUS OTHER VARIABLE FACTORS. IT IS THE BUYER'S RESPONSIBILITY TO CONSULT WITH APPROPRIATE LOCAL CONSTRUCTION PROFESSIONALS (ARCHITECTS, ENGINEERS) TO DETERMINE IF PLANS COMPLY WITH CODES GOVERNING THE BUYER'S BUILDING SITE AND, IF NECESSARY, TO SEE THAT APPROPRIATE MODIFICATIONS ARE MADE TO PLANS PRIOR TO CONSTRUCTION.

DRAWING INDEX

SYMBOL KEY

D01	DOOR LABEL
W01	WINDOW LABEL
A	INTERIOR ELEVATION LABEL
8X8 POST	ANNOTATION
	BREAK LINE
	HIDDEN OR INVISIBLE LINE
SUBFLOOR	ELEVATION DATUM LINE
BUILDING SECTION SHEET A-301	SECTION CUT LINE

SQUARE FOOTAGE

CONDITIONED SPACE		UNCONDITIONED SPACE	
FIRST FLOOR	2271 SF	FRONT PORCH	438 SF
SECOND FLOOR	998 SF	BACK PORCH	91 SF
TOTAL	3269 SF	BALCONY	108 SF
		BREEZEWAY	379 SF
		GARAGE	721 SF
		TOTAL	1737 SF

TOTAL UNDER ROOF SF

5,006 SF

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
COVER PAGE

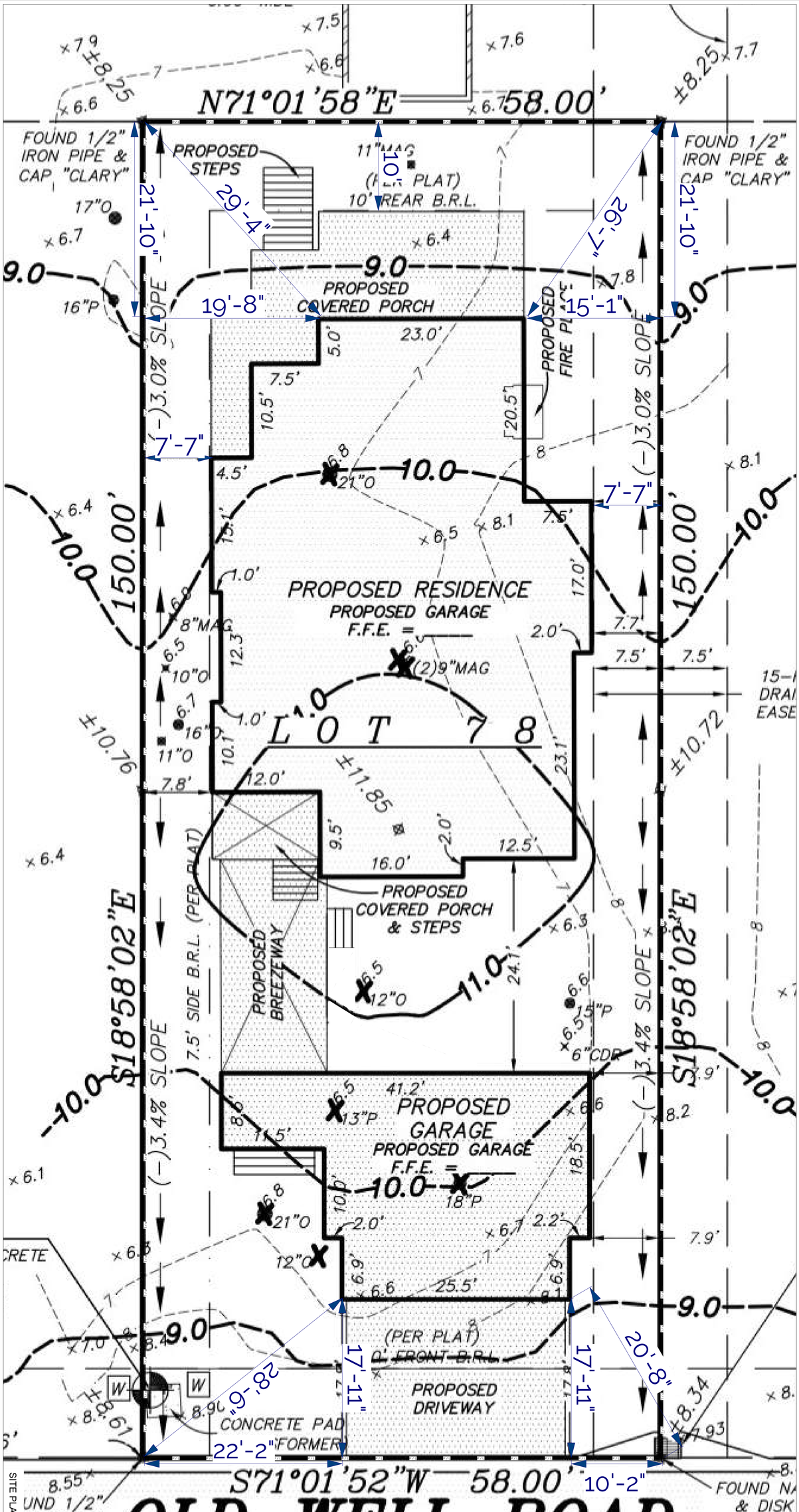
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
61 Walker Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
NO SCALE

SHEET:
COVER PAGE



SITE PLAN

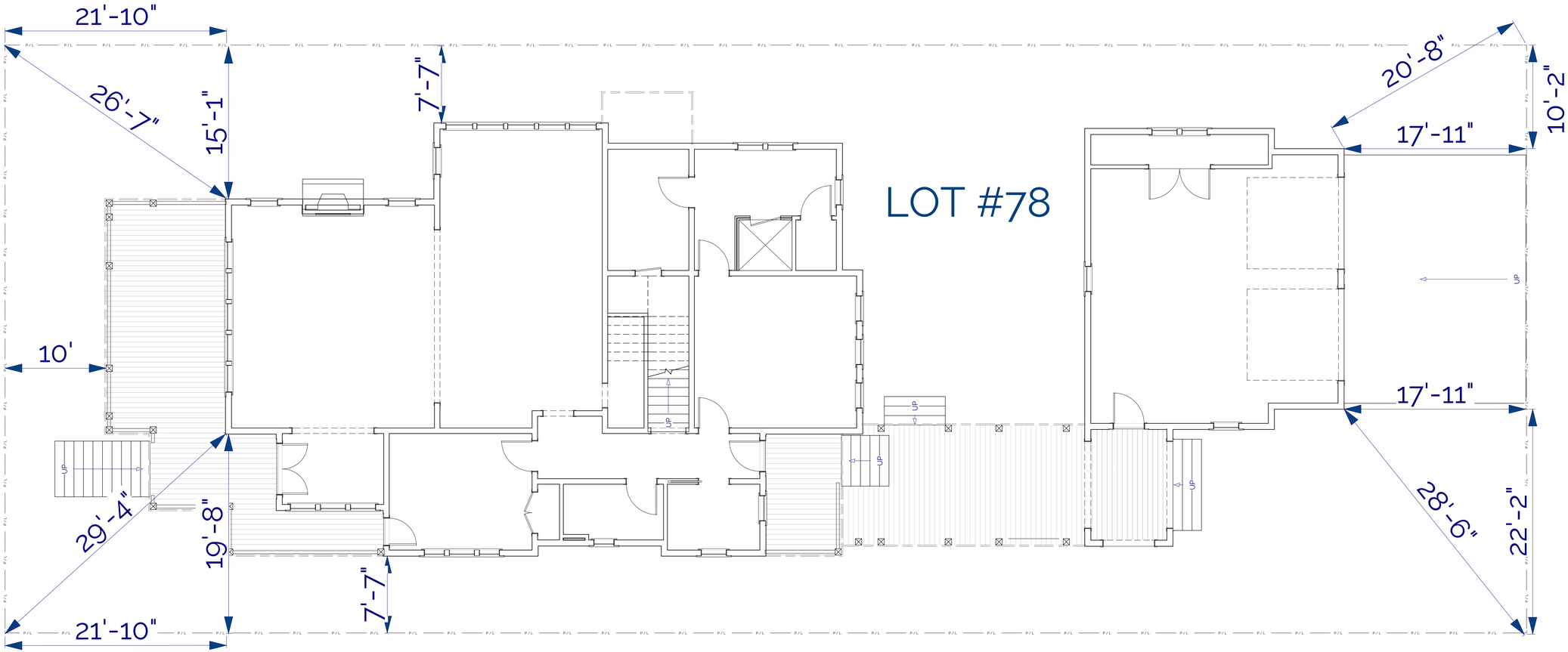
C-101	SHEET:	1/4"-1'-0"	SCALE:	5/22/20	DATE:

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

SHEET TITLE:
SITE PLAN - SURVEY

STUDIO



SITE PLAN

STUDIO

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SHEET TITLE:
SITE PLAN

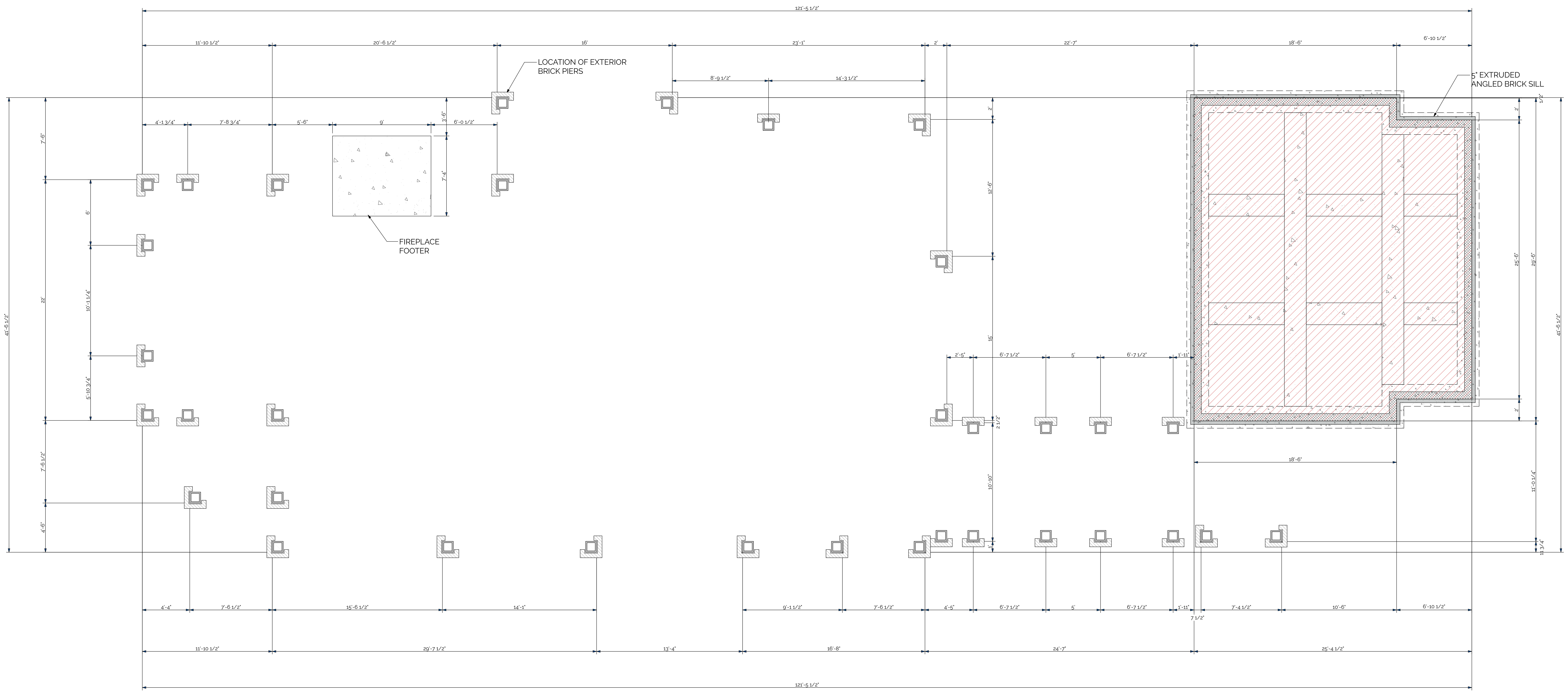
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
14 Bakers Row
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

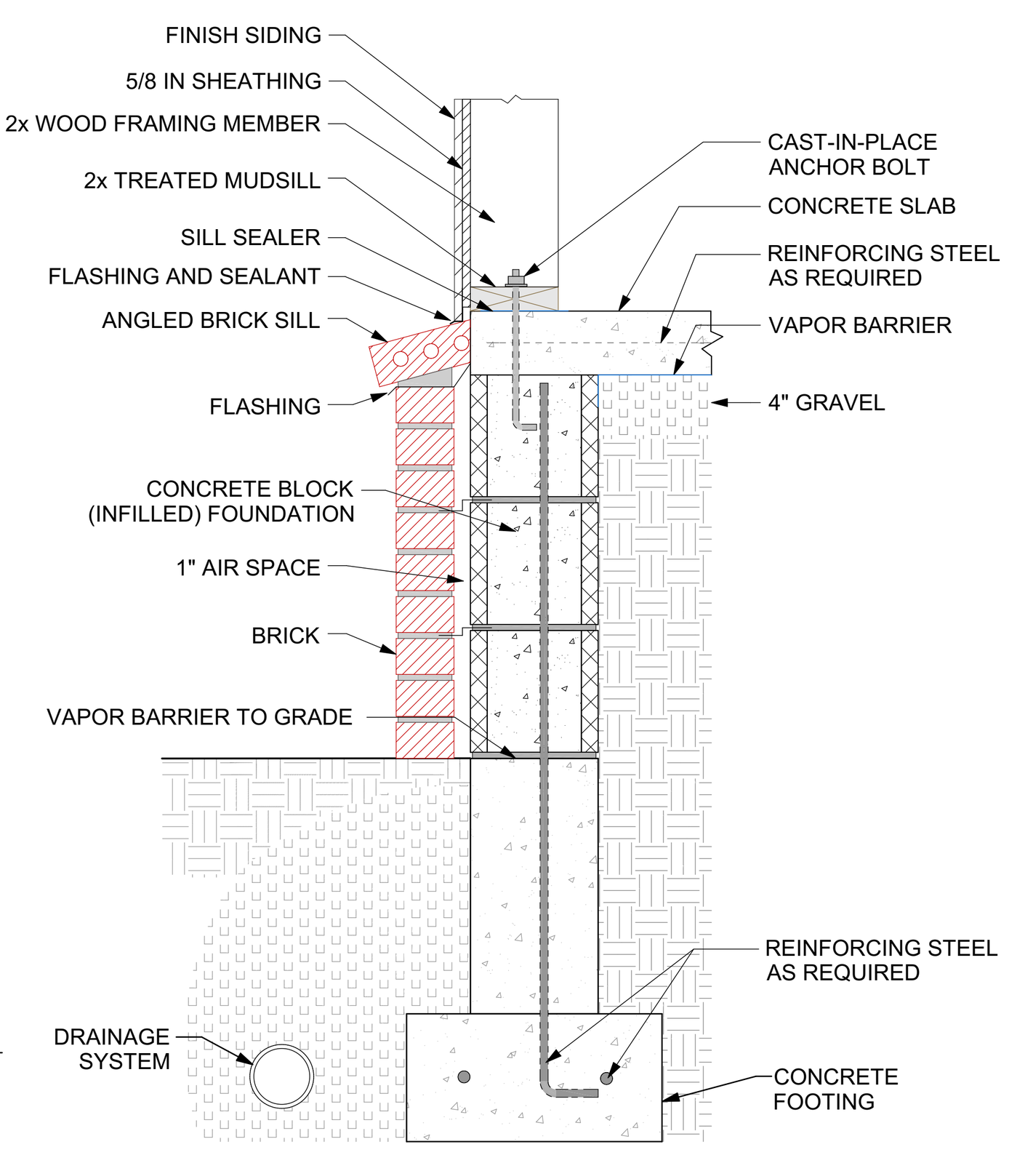
DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
C-102



PRELIMINARY FOUNDATION PLAN



CMU/SLAB FOUNDATION AT SIDING WALL DETAIL

SCALE: 1"=1'-0"

FOUNDATION LEGEND

	2'-0" WIDE (16" THICK) CONTINOUS FOOTER TO RUN AROUND THE ENTIRE EXTERIOR OF ALL HEATED AND COOLED SPACES; ALSO INCLUDING FOOTPRINT OF GARAGE.
	2'-0" WIDE (12" THICK) INTERIOR FOOTER.
	2'-8" SQUARE (16" THICK) SPREAD FOOTER.
	12X8X8 CONCRETE BLOCK, APPLIED TO ALL OUTSIDE CORNER TRANSITIONS IN THE FOOTPRINT OF THE HOUSE. CONCRETE BLOCK WILL BE WRAPPED IN RECLAIMED BRICK.
	12X8X8 CONCRETE BLOCK WRAPPED IN RECLAIMED BRICK
	3 - 12X8X8 CONCRETE BLOCKS, APPLIED TO ALL INSIDE CORNER TRANSITIONS IN THE FOOTPRINT OF THE HOUSE. CONCRETE BLOCK WILL BE WRAPPED IN RECLAIMED BRICK.
	GARAGE SLAB FOUNDATION AT LOWER ELEVATION HEIGHT. REFER TO ELEVATIONS FOR HEIGHT SPECIFICATIONS.
	8" CONCRETE BLOCK CHAIN WALL
	5" EXTRUDED BRICK SILL

FOUNDATION PLAN NOTES

1. THIS DRAWING IS FOR DESIGN PURPOSES ONLY. THE STRUCTURAL ENGINEER IS TO PROVIDE ACTUAL FOUNDATION PLAN. STRUCTURAL ENGINEER SHOULD USE THIS DRAWING TO LOCATE THE PIERS AND EXPOSED BRICK SIZE AS INTENDED FOR DESIGN INTENT. STRUCTURAL ENGINEER TO COORDINATE WITH DESIGNER IF ANY QUESTIONS OCCUR ABOUT DESIGN INTENT.

STUDIO

SHEET TITLE:
PRELIMINARY FOUNDATION PLAN

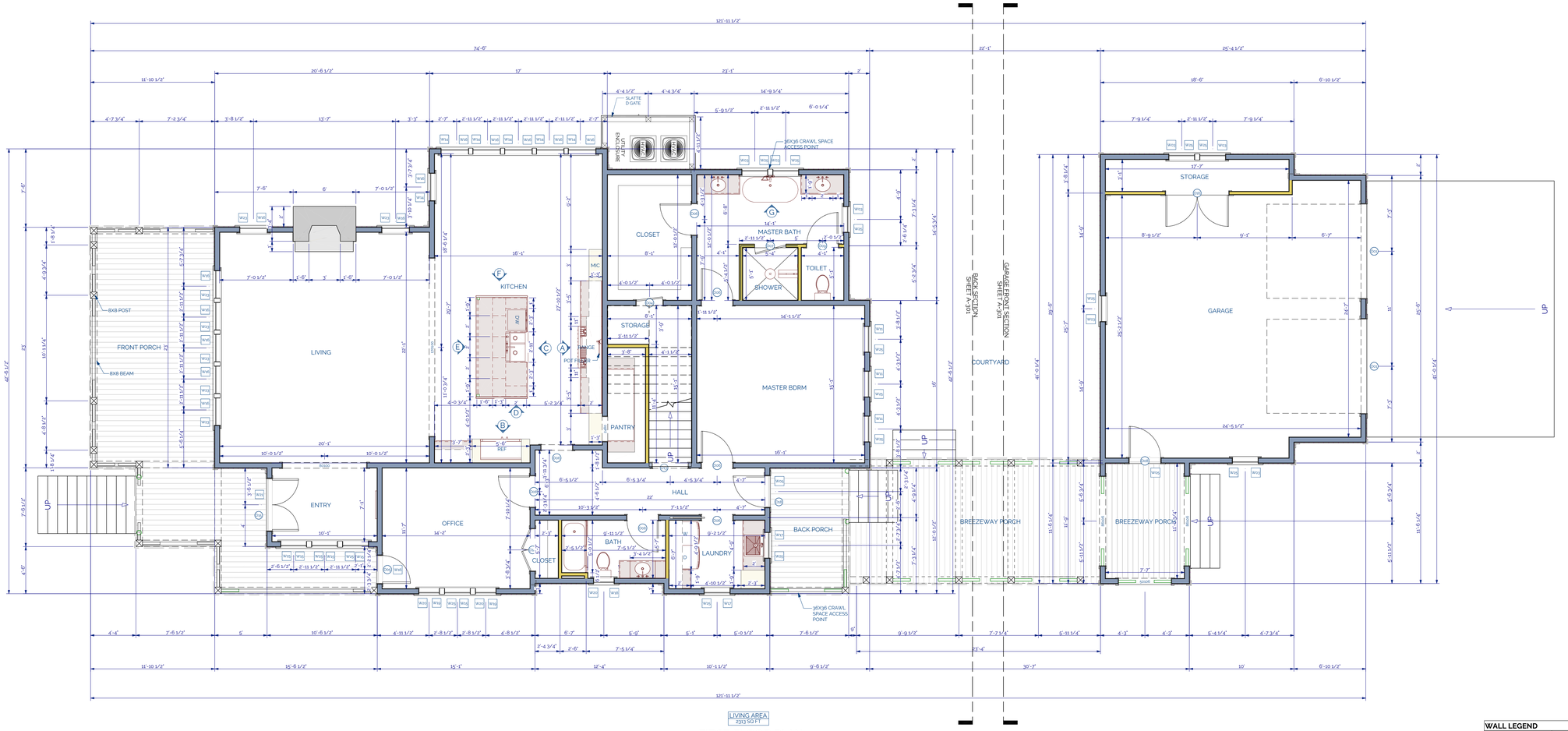
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
S-101



LIVING AREA
2313 SQ FT

FIRST FLOOR PLAN

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ SIDING
	EXTERIOR 2X6 WALL W/ SIDING
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING

STUDIO

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SHEET TITLE:
FIRST FLOOR PLAN

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

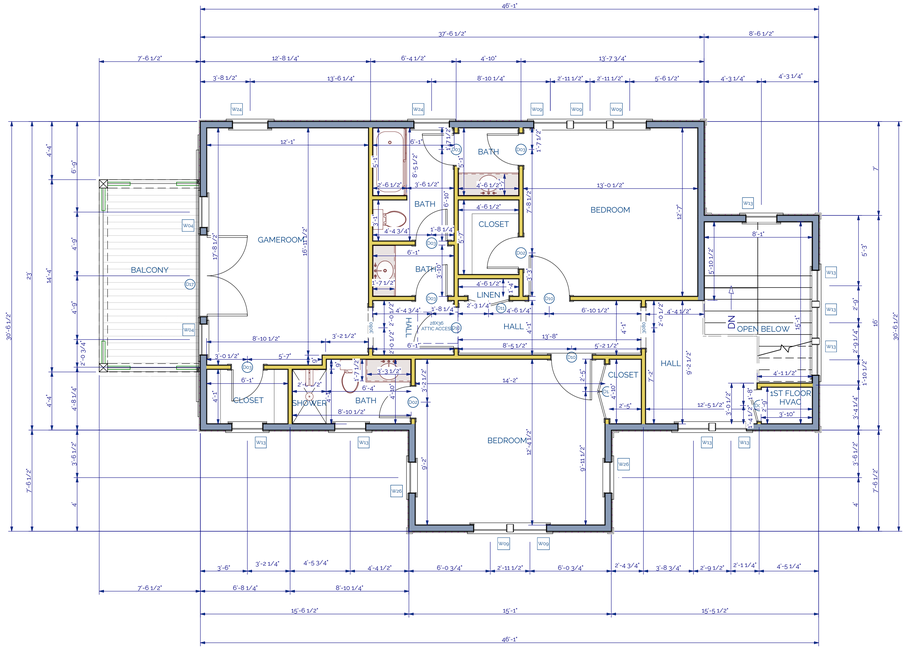
SHEET:
A-101

DOOR SCHEDULE

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	ELEVATION
D01	9090	2	1	9090	108 "	108 "	
D02	2480	3	2	2480 L IN	28 "	96 "	
D03	2480	5	2	2480 R IN	28 "	96 "	
D04	2668	1	1	2668 L IN	30 "	80 "	
D05	2880	1	1	2880 R EX	32 "	96 "	
D06	30104MU	7	1	30104	36 "	124 "	
D07	3080	1	1	3080 L IN	36 "	96 "	
D08	3080	1	1	3080 L EX	36 "	96 "	
D09	3080	1	1	3080 R IN	36 "	96 "	
D10	3080	3	2	3080 L IN	36 "	96 "	
D11	3080	1	2	3080 L/R IN	36 "	96 "	
D12	4080	1	2	4080 L/R IN	48 "	96 "	
D13	35104MU	1	1	35104	41 "	124 "	
D14	4080	1	1	4080 L/R IN	48 "	96 "	
D15	5080	1	1	5080 L/R EX	60 "	96 "	
D16	6080	1	1	6080 L/R EX	72 "	96 "	
D17	6080	1	2	6080 L/R EX	72 "	96 "	
D18	3080	1	1	3080 R EX	36 "	96 "	

WINDOW SCHEDULE

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	ELEVATION
W02	1630DH	1	3	LOCATED IN THE GABLE OF THE RIGHT ELEVATION & BACK ELEVATION OF RESIDENCE 1630DH	18 "	36 "	
W03	2650DH	7	1	LOCATED IN THE GABLE OF THE FRONT ELEVATION OF RESIDENCE 2650DH	30 "	60 "	
W04	2466DH	2	2	2466DH	28 "	78 "	
W05	3018FX	2	1	3018FX	36 "	20 "	
W06	1624FX	2	3	1624FX	18 "	28 "	
W08	1624FX	1	2	1624FX	18 "	28 "	
W09	2660DH	5	2	LOCATED IN THE GABLE OF THE RIGHT ELEVATION OF GARAGE 2660DH	30 "	72 "	
W10	1630DH	1	2	1630DH	18 "	36 "	
W11	2670DH	3	1	LOCATED IN THE GABLE OF THE LEFT ELEVATION OF GARAGE 2670DH	30 "	84 "	
W13	2450DH	8	2	2450DH	28 "	60 "	
W14	2860DH	6	1	2860DH	32 "	72 "	
W15	2660DH	4	1	2660DH	30 "	72 "	
W16	2818FX	14	1	2818FX	32 "	20 "	
W17	2646DH	2	1	2646DH	30 "	54 "	
W18	2046DH	1	1	2046DH	24 "	54 "	
W19	2060DH	2	1	2060DH	24 "	72 "	
W20	2018FX	3	1	2018FX	24 "	20 "	
W21	5018FX	1	1	5018FX	60 "	20 "	
W23	2870DH	7	1	2870DH	32 "	84 "	
W24	2860DH	2	2	2860DH	32 "	72 "	
W25	2618FX	16	1	2618FX	30 "	20 "	
W26	2460DH	2	2	2460DH	28 "	72 "	



LIVING AREA
1021 SQ FT

SECOND FLOOR PLAN

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ SIDING
	EXTERIOR 2X6 WALL W/ SIDING
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING

STUDIO

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SHEET TITLE:
SECOND FLOOR PLAN + SCHEDULES

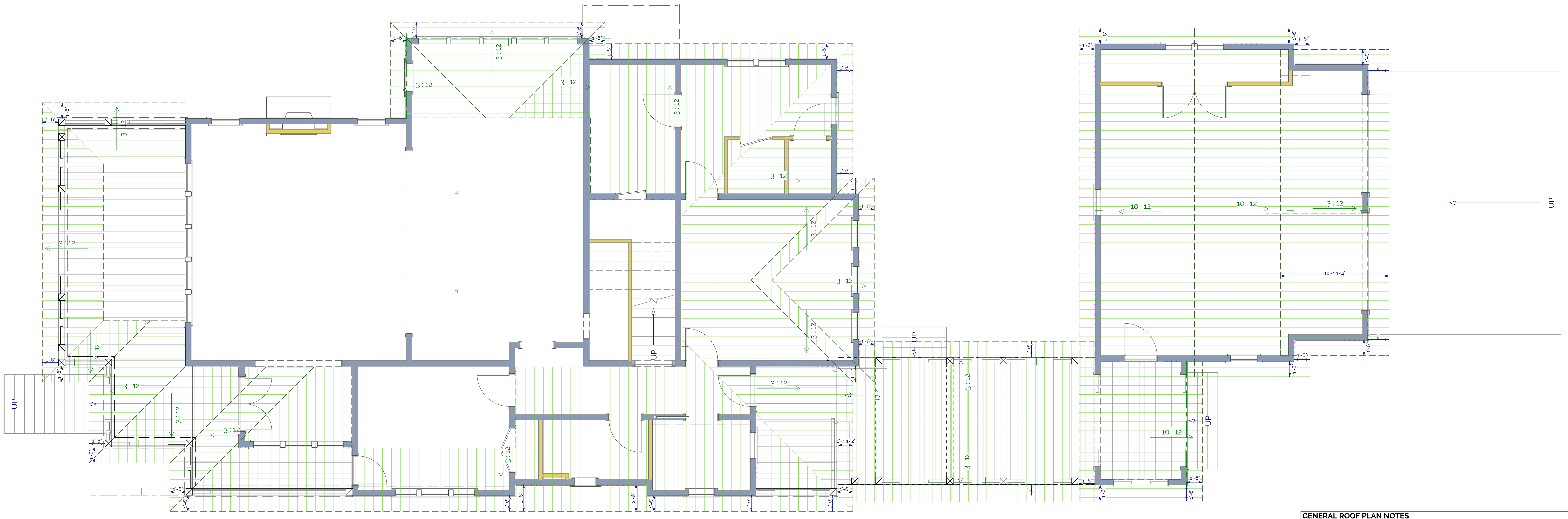
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
A-102



LOWER ROOF PLAN

GENERAL ROOF PLAN NOTES

1. NO ROOF PENETRATIONS UNLESS SHOWN IN THESE DESIGN DRAWINGS. ALL PLUMBING VENTS TO BE ROUTED TO EAVE OVERHANGS.
2. TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS: STANDING SEAM METAL, ROOFING FELT / SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.
3. ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.
4. TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD". INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MIN. OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE, 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS, 3) 36" SHEET WIDTH AT VALLEYS, 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS, 5) ALL AROUND CHIMNEYS AND SKYLIGHTS 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH, 7) 36" SHEET AT ROOF PITCH TRANSITIONS, 8) OTHER AREAS AS REQUIRED BY CODE.
5. INSTALL CONT. W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER FLAT SOLDERED SEAMED COPPER WHERE METAL PANS ARE INDICATED. IF FIELD SEAMING IS PERFORMED PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.
6. INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MIN. 6" FLANGE ONTO ROOF SURFACE.
7. INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" V-CRIMP, 12" MIN. UP EACH SIDE OF VALLEYS
8. INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.
9. INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF / WALL INTERSECTIONS AND ALONG ROOF / CHIMNEY INTERSECTIONS.
10. CONFORM WITH "SMACNA" ARCHITECTURAL SHEET METAL MANUAL, 5TH ADDITION, 1993 WITH ADDENDUM NO. 1 OCTOBER 31, 1997 FOR ALL METAL ROOFING, FLASHING AND ROOF PENETRATION SYSTEMS
11. RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINOUSLY ALONG RIDGES.
12. INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.

STUDIO

SHEET TITLE:
LOWER ROOF PLAN

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

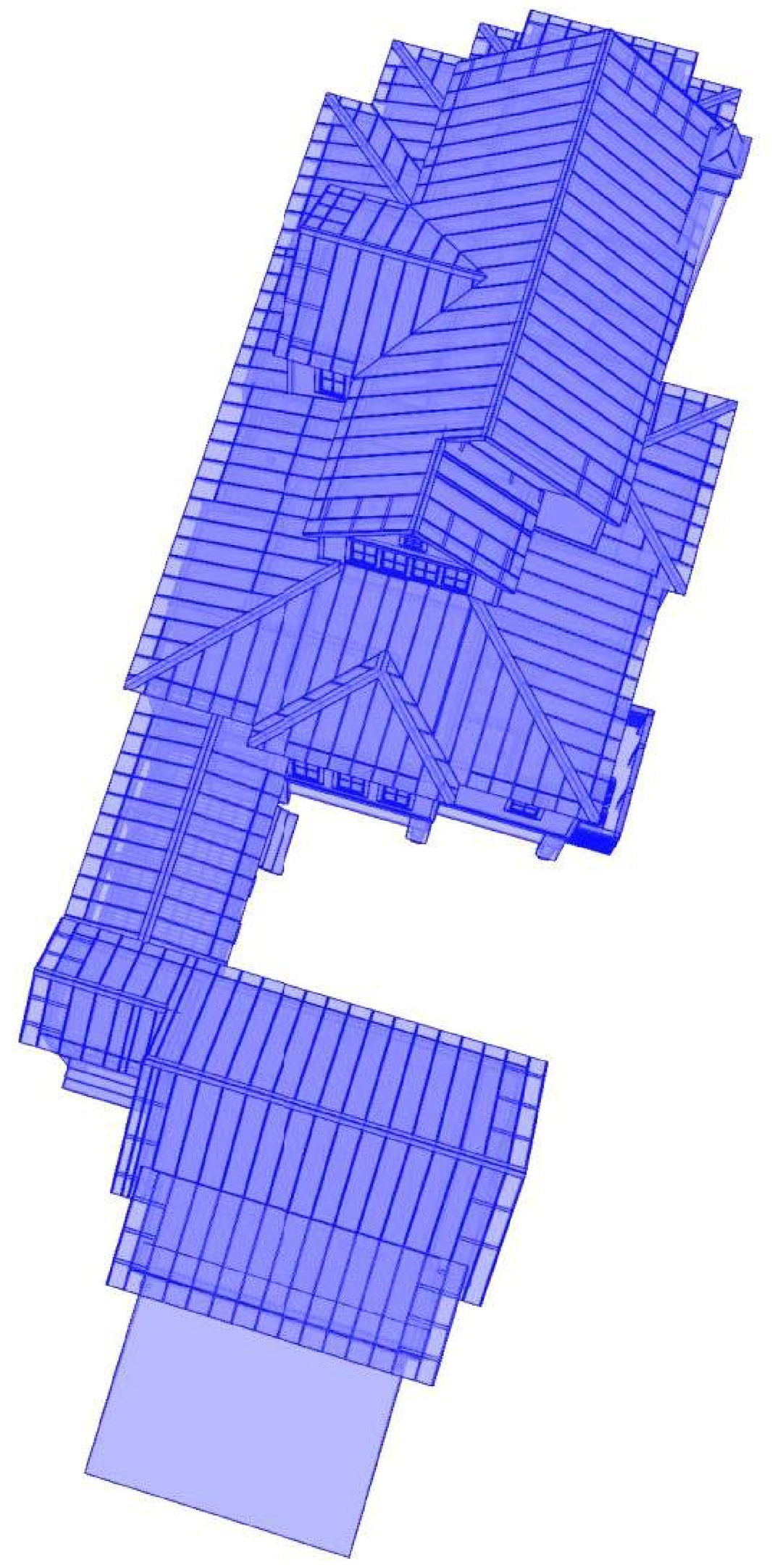
SHEET:
A-103

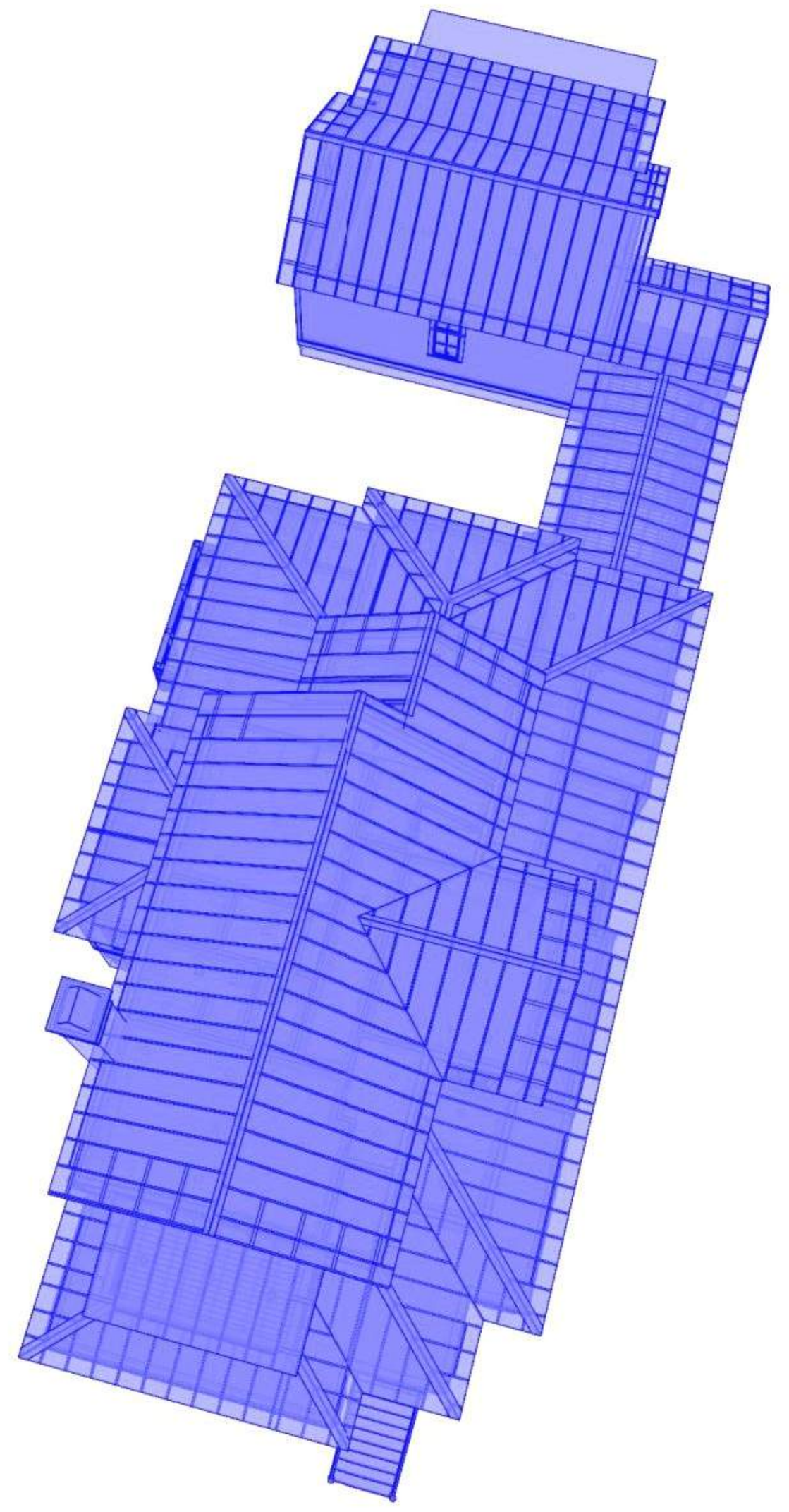
FRONT LEFT PERSPECTIVE

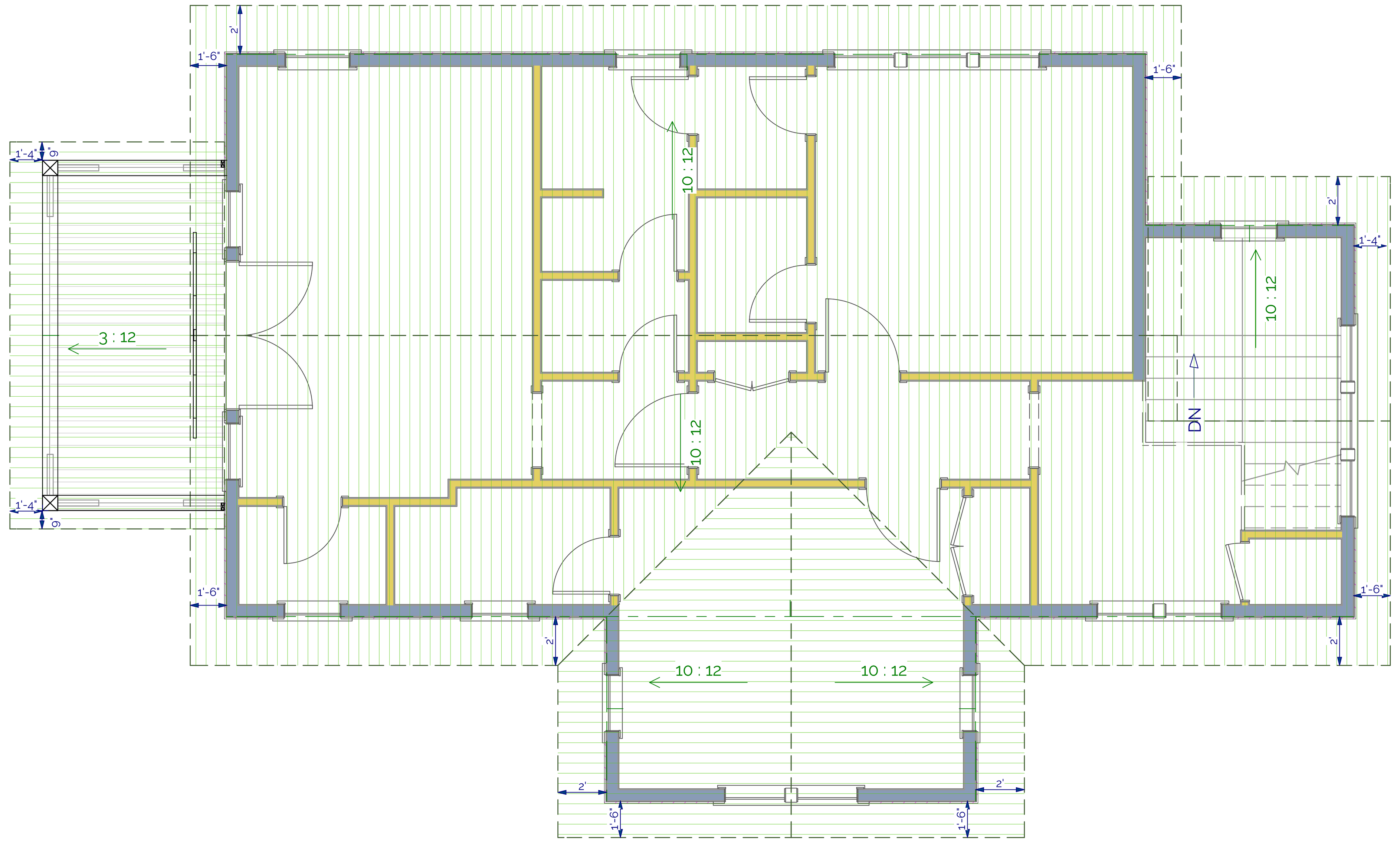
FRONT PERSPECTIVE

BACK RIGHT PERSPECTIVE

BACK LEFT PERSPECTIVE







UPPER ROOF PLAN

GENERAL ROOF PLAN NOTES

1. NO ROOF PENETRATIONS UNLESS SHOWN IN THESE DESIGN DRAWINGS. ALL PLUMBING VENTS TO BE ROUTED TO EAVE OVERHANGS.
2. TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS: STANDING SEAM METAL, ROOFING FELT / SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.
3. ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.
4. TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD". INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MIN. OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE, 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS, 3) 36" SHEET WIDTH AT VALLEYS, 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS, 5) ALL AROUND CHIMNEYS AND SKYLIGHTS 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH, 7) 36" SHEET AT ROOF PITCH TRANSITIONS, 8) OTHER AREAS AS REQUIRED BY CODE.
5. INSTALL CONT. W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER FLAT SOLDERED SEAMED COPPER WHERE METAL PANS ARE INDICATED. IF FIELD SEAMING IS PERFORMED PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.
6. INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MIN. 6" FLANGE ONTO ROOF SURFACE.
7. INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" V-CRIMP, 12" MIN. UP EACH SIDE OF VALLEYS
8. INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.
9. INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF / WALL INTERSECTIONS AND ALONG ROOF / CHIMNEY INTERSECTIONS.
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11. RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINOUSLY ALONG RIDGES.
12. INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.

STUDIO

SHEET TITLE:
UPPER ROOF PLAN

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

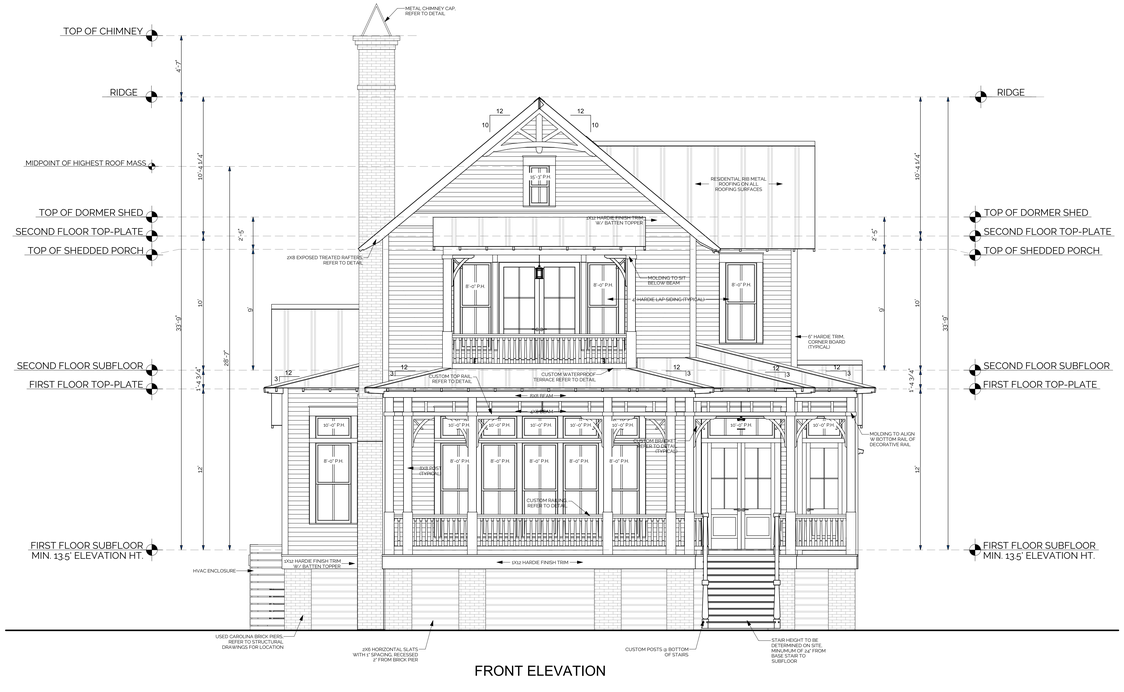
DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
A-104

BACK ELEVATION



FRONT ELEVATION

GENERAL ELEVATION NOTES

1. PAINT WATER HEATER, ELECTRICAL BOXES, VENTS, ETC. TO BE PAINTED TO COLORS OF ADHERED SURFACE MATERIALS.
2. EXTERIOR COLORS:
   MAIN BODY: GRAY OWL 2137-60
   TRIM/RAILS: SIMPLY WHITE OC-117
   SLATTING: GRAY OWL 2137-60
   ACCENTS: SMOKE 2122-40
   FRONT DOOR & TRANSOM: STAINED CERUSED WHITE OAK
   WINDOW & DOOR: WHITE
   ROOF: SILVER

STUDIO

SHEET TITLE
EXTERIOR ELEVATIONS

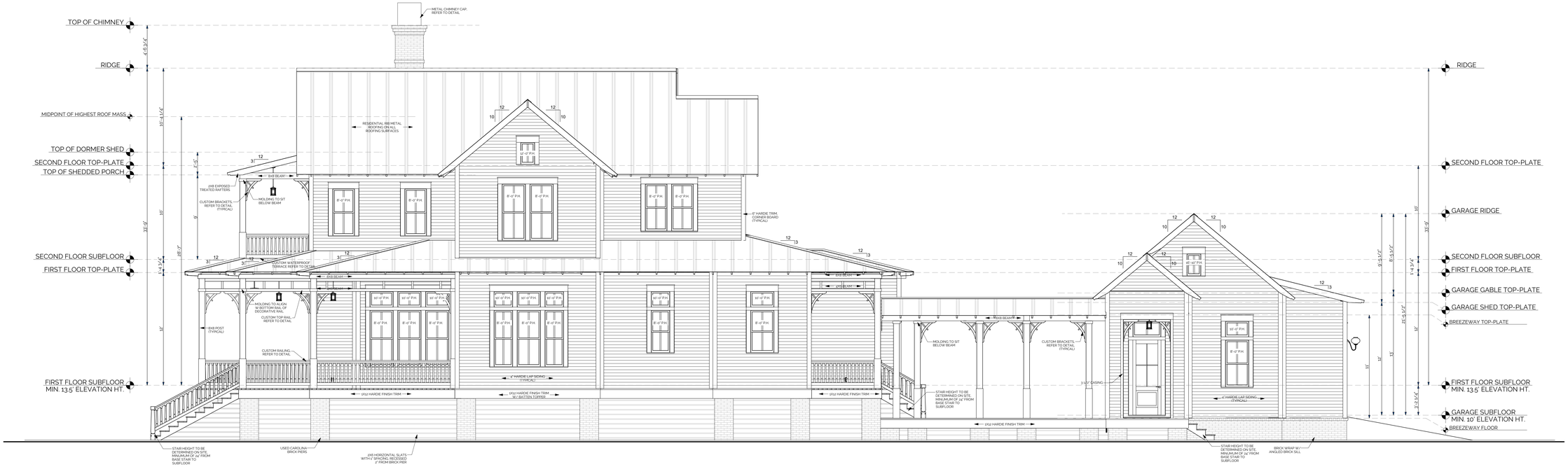
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
61 Bailey Ridge Rd.
Hattiesburg, MS 39402
601.336.8144
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
A-201



RIGHT ELEVATION

GENERAL ELEVATION NOTES

1. PAINT WATER HEATER, ELECTRICAL BOXES, VENTS, ETC. TO BE PAINTED TO COLORS OF ADHERED SURFACE MATERIALS.
2. EXTERIOR COLORS:
   MAIN BODY: GRAY OWL 2137-60
   TRIM/RAILS: SIMPLY WHITE OC-117
   SLATTING: GRAY OWL 2137-60
   ACCENTS: SMOKE 2122-40
   FRONT DOOR & TRANSOM: STAINED CERUSED WHITE OAK
   WINDOW & DOOR: WHITE
   ROOF: SILVER

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
Hattiesburg, MS
601.336.8144
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
A-202

LEFT ELEVATION

GENERAL ELEVATION NOTES

1. PAINT WATER HEATER, ELECTRICAL BOXES, VENTS, ETC. TO BE PAINTED TO COLORS OF ADHERED SURFACE MATERIALS.
2. EXTERIOR COLORS:
   MAIN BODY: GRAY OWL 2137-60
   TRIM/RAILS: SIMPLY WHITE OC-117
   SLATTING: GRAY OWL 2137-60
   ACCENTS: SMOKE 2122-40
   FRONT DOOR & TRANSOM: STAINED CERUSED WHITE OAK
   WINDOW & DOOR: WHITE
   ROOF: SILVER

STUDIO

SHEET TITLE:
EXTERIOR ELEVATIONS

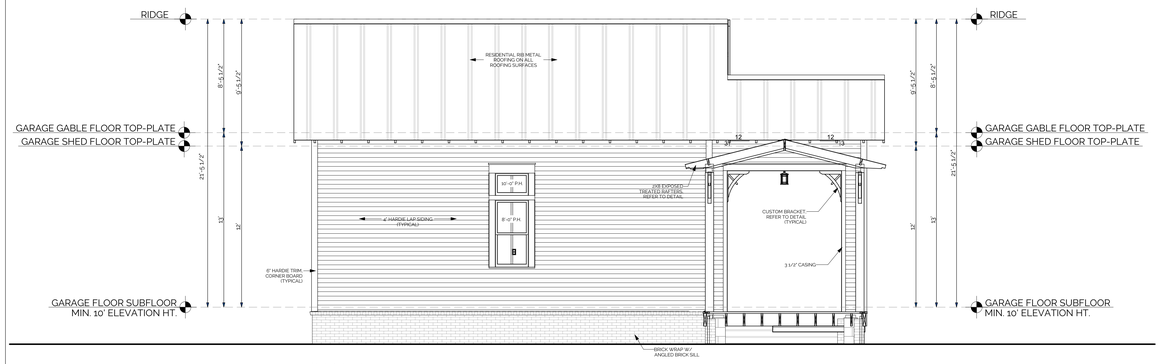
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

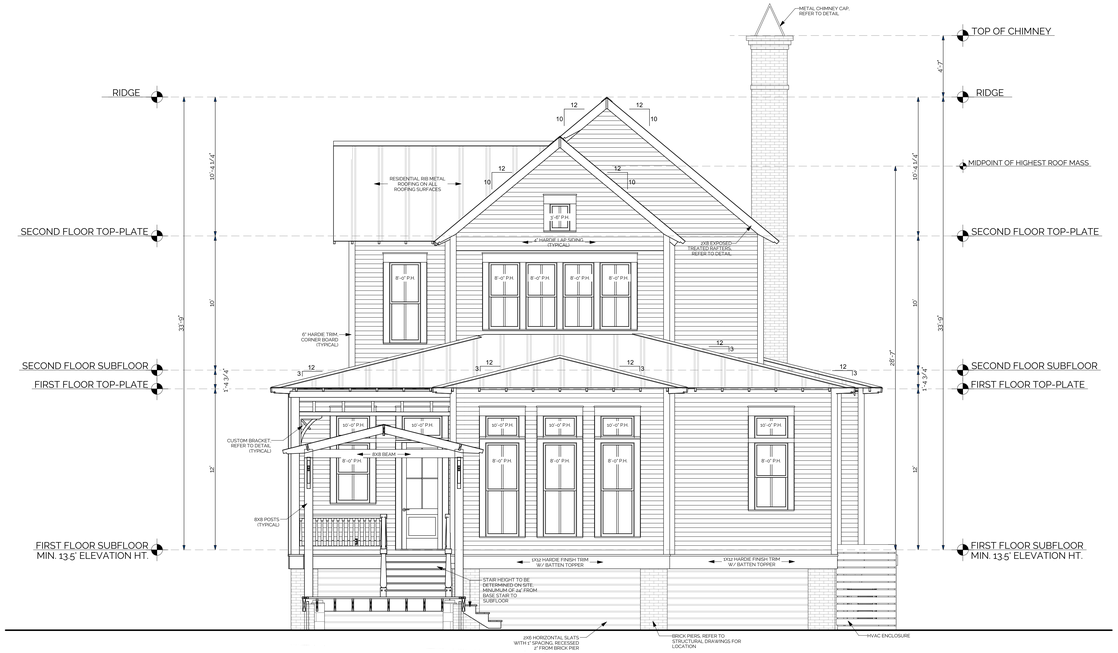
DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
A-203



GARAGE FRONT SECTION



BACK SECTION

GENERAL ELEVATION NOTES

1. PAINT WATER HEATER, ELECTRICAL BOXES, VENTS, ETC. TO BE PAINTED TO COLORS OF ADHERED SURFACE MATERIALS.
2. EXTERIOR COLORS:
   MAIN BODY: GRAY OWL 2137-60
   TRIM/RAILS: SIMPLY WHITE OC-117
   SLATTING: GRAY OWL 2137-60
   ACCENTS: SMOKE 2122-40
   FRONT DOOR & TRANSOM: STAINED CERUSED WHITE OAK
   WINDOW & DOOR: WHITE
   ROOF: SILVER

STUDIO

SHEET TITLE
BUILDING SECTIONS

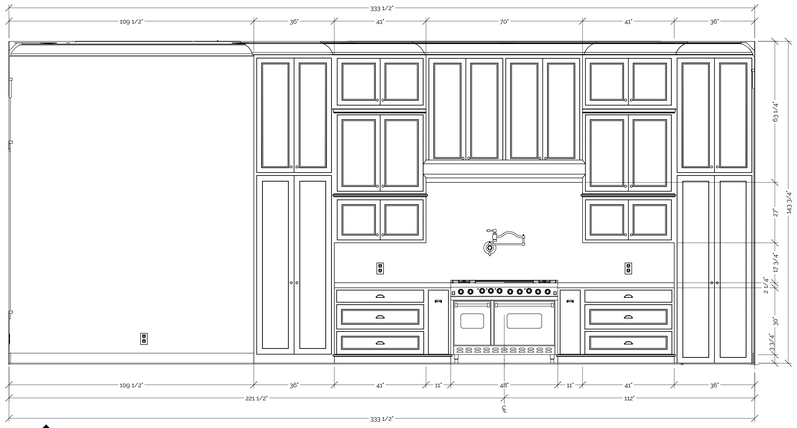
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

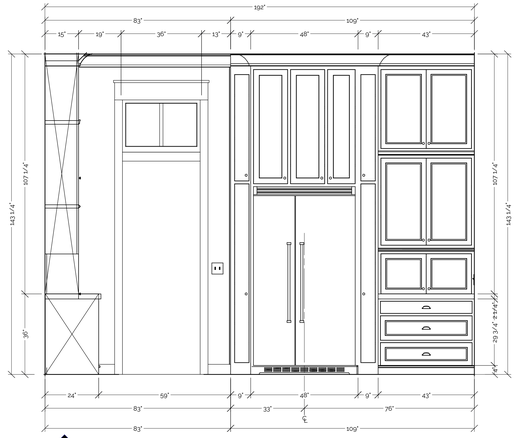
DATE:
5/22/20

SCALE:
1/4"=1'-0"

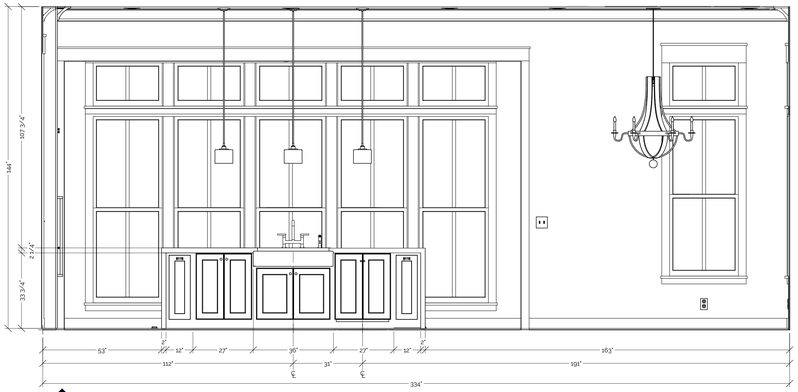
SHEET:
A-301



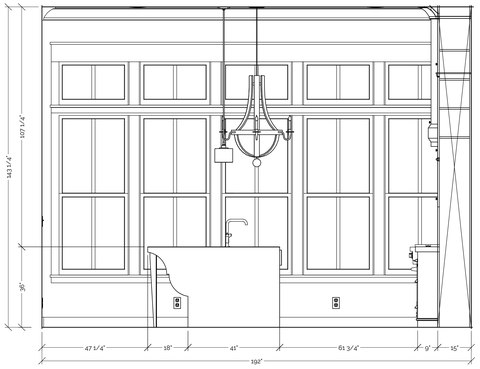
A KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



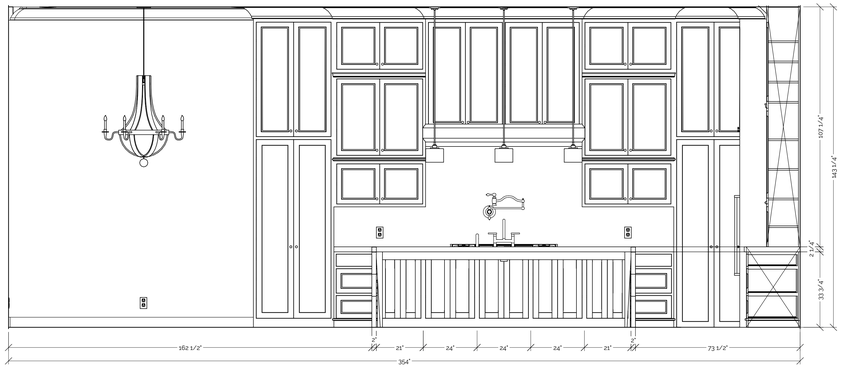
B KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



C KITCHEN ISLAND ELEVATION
SCALE: 1/2" = 1'-0"

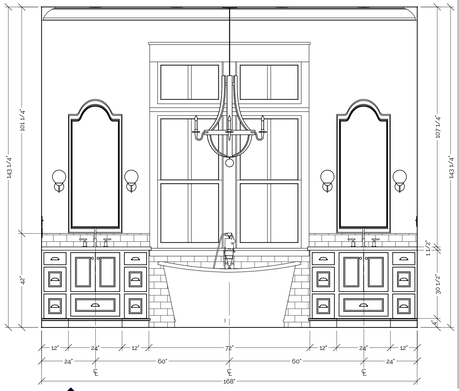


D KITCHEN ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



E KITCHEN ISLAND ELEVATION
SCALE: 1/2" = 1'-0"

F KITCHEN ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



G MASTER BATH ELEVATION
SCALE: 1/2" = 1'-0"

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
INTERIOR ELEVATIONS

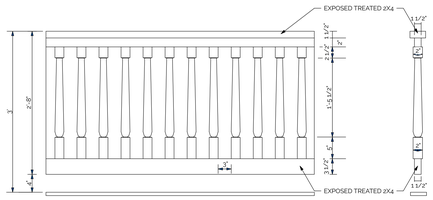
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
61 Beaver Run
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

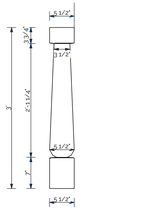
DATE:
5/22/20

SCALE:
1/2"=1'-0"

SHEET:
A-401

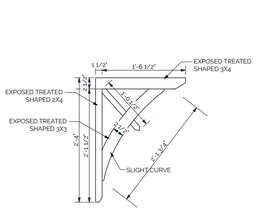


RAILING DETAIL
SCALE: 1"=1'-0"

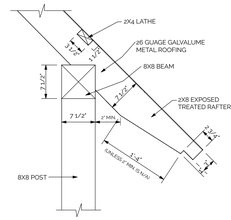


POST DETAIL @ TOP OF STAIR
SCALE: 1"=1'-0"

POST DETAIL @ BOTTOM OF STAIR
SCALE: 1"=1'-0"



BRACKET DETAIL
SCALE: 1"=1'-0"



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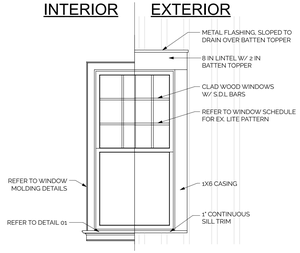
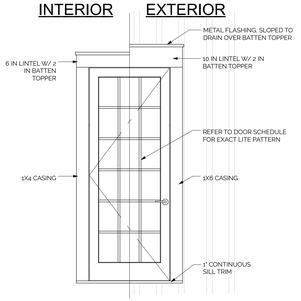
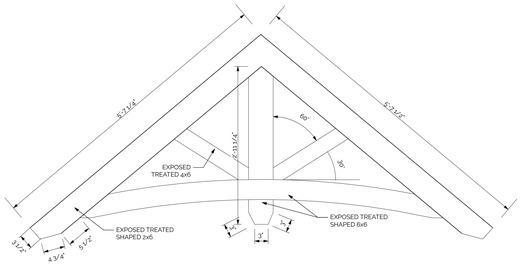
SCALE: 1"=1'-0"



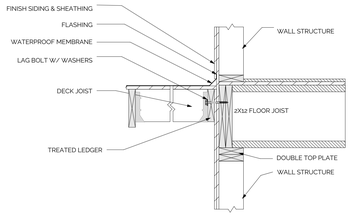
TYPICAL WINDOW DETAIL
SCALE: 1/2"=1'-0"



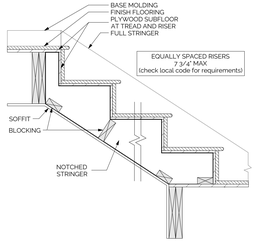
TYPICAL DOOR DETAIL
SCALE: 1/2"=1'-0"



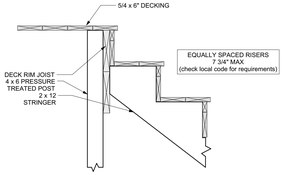
GABLE BRACKET DETAIL
SCALE: 1"=1'-0"



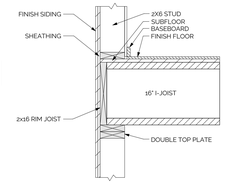
TERRACE WATERPROOF DETAIL
SCALE: 1"=1'-0"



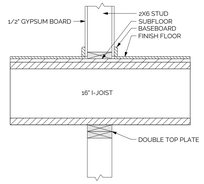
INTERIOR STAIR
SCALE 1"=1'-0"



EXTERIOR STAIR
SCALE 1"=1'-0"



STANDARD FLOOR TRANSITION
SCALE: 1"=1'-0"



STANDARD INTERIOR FLOOR TRANSITION
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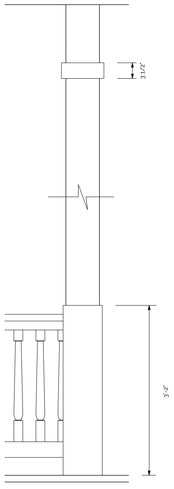
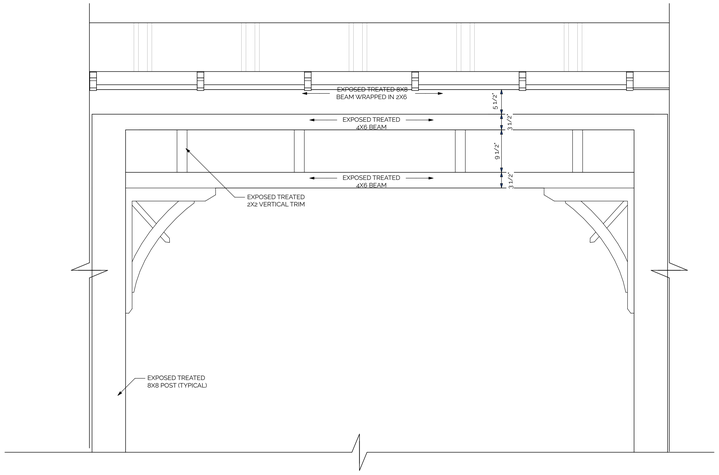
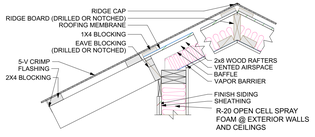


POST DETAIL
SCALE: 1"=1'-0"



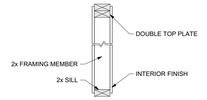
DECORATIVE BEAM DETAIL @ TOP OF PORCHES
SCALE: 1"=1'-0"



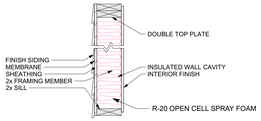
ROOF FRAMING DETAIL
SCALE: 1"=1'-0"

INSULATION PER LOCATION:

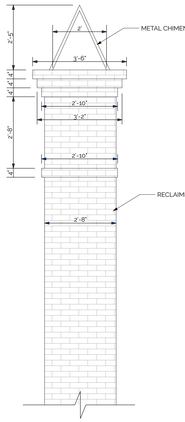
EXTERIOR WALLS: R-20 OPEN CELL SPRAY FOAM
CEILINGS: R-20 OPEN CELL SPRAY FOAM
FLOORS: R-20 CLOSED CELL SPRAY FOAM



INTERIOR WALL DETAIL
SCALE: 1"=1'-0"



EXTERIOR WALL DETAIL
SCALE: 1"=1'-0"



CHIMNEY DETAIL
SCALE: 1/2"=1'-0"

STUDIO

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SHEET TITLE:
DETAILS

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
NA

SHEET:
A-501

LIVING ROOM

LIVING ROOM

LIVING ROOM TO KITCHEN

KITCHEN

KITCHEN TO DINING

KITCHEN TO LIVING

DINING TO KITCHEN

MASTER BEDROOM

MASTER BEDROOM

MASTER BATHROOM

MASTER BATHROOM

UPSTAIRS GAMEROOM

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
INTERIOR PERSPECTIVES

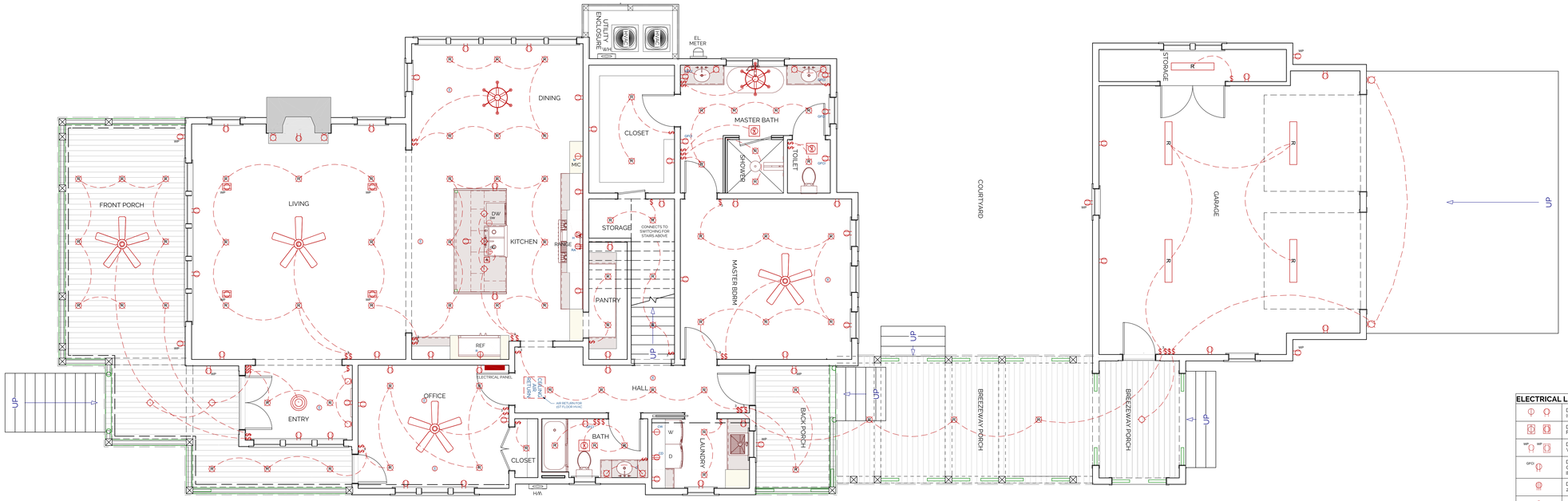
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
61 Parker Ridge
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
NA

SHEET:
A-901



FIRST FLOOR ELECTRICAL PLAN

GENERAL ELECTRICAL NOTES

1. DRAWINGS PROVIDED ARE FOR DIAGRAMMATIC PURPOSES ONLY AND SHOULD ONLY BE USED AS A CONCEPTUAL GUIDE. EXACT LOCATIONS OF BREAKER PANELS, WIRING, CONDUIT, DISCONNECTS, ETC MUST BE DETERMINED BY A LOCAL CERTIFIED ELECTRICIAN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE FINAL LOCATIONS OF ALL ELECTRICAL ITEMS WITH BUYER AND ELECTRICIAN TO MEET LOCAL ELECTRICAL CODES, STANDARDS, AND REQUIREMENTS.

2. ALL OUTLET LOCATIONS MUST MEET LOCAL BUILDING CODES AND STANDARDS. WET LOCATIONS INCLUDING KITCHEN, BATHROOM, LAUNDRY, OR ANY AREA EXPOSED TO WEATHER MUST HAVE GFCI OUTLETS PER CODE WHERE RUNNING WATER IS PRESENT. WATER PROOF OUTLETS MUST BE USED IN ALL EXTERIOR APPLICATIONS.

3. ELECTRICIAN AND BUILDER TO INSTALL HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUPS AS NEEDED TO MEET CODE REQUIREMENTS AND OWNERS REQUEST. ELECTRICIAN TO MAKE SURE SMOKE DETECTORS ARE INSTALLED IN ALL SLEEPING AREAS, COMMON AREAS NEAR BEDROOMS, KITCHEN, ON EACH FLOOR, AND CLOSE TO STAIRS GOING UP, AND OTHER PLACES REQUIRED BY CODE (NFPA 72).

4. CARBON MONOZIDE DETECTORS ARE TO BE WITHIN 10' OF SLEEPING ROOMS, COMBINATION UNITS MAY BE USED.

5. ELECTRICIAN AND CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO AIR CONDITIONING, WATER HEATERS, CONDENSATE PUMPS, ETC. CONTRACTOR AND ELECTRICAN RESPONSIBLE TO COORDINATE APPROPRIATE AMPACITY REQUIRED AS NEEDED. AREAS IN NON-LIT AREAS REQUIRE ONE OUTLET AND ONE LIGHT. ALL OUTLETS EXPOSED TO WEATHER SHALL HAVE WEATHERPROOF GFCI AS REQUIRED BY CODE.

6. ELECTRICIAN TO PROVIDE PANEL BOARDS OF PROPER AMPACITY AND VOLTAGE FOR ALL ELECTRICAL CIRCUITS.

7. ALL SERVICE REQUIREMENTS MUST BE COORDINATED WITH LOCAL POWER COMPANY INCLUDING LOCATION AND TYPES OF TRANSFORMERS, DISCONNECTS AT EXTERIOR OF BUILDING, VOLTAGES, AMPACITIES AND ALL OTHER ELECTRICAL CONSTRUCTION DETAILS. FEEDERS SHOULD BE SIZED ACCORDING TO NEC REQUIREMENTS.

8. ALL CONCEALED CABLES TO BE RUN IN FLOORS, WALLS, OR CEILINGS AS NEEDED.

9. CONTRACTOR AND ELECTRICIAN TO PROVIDE BLOCKING FOR ALL ELECTRICAL FIXTURES AS NEEDED.

10. RECEPTACLES IN EXTERIOR WALLS MUST BE ISOLATED AND SEALED SOLIDLY.

11. SWITCHES SHOULD TYPICALLY BE MOUNTED 48" ABOVE FINISH FLOOR TO CENTER OF SWITCH. LOCATE SWITCHES ADJACENT TO DOOR CASINGS BUT NOT INTERSECTING DOOR CASINGS OR TRIM.

12. EXTERIOR SECURITY LIGHTING TO BE SELECTED AND LOCATED BY OWNER. ELECTRICIAN TO VERIFY SWITCHING LOCATION.

13. ALL LIGHTING TO BE CFL OR LED HIGH-EFFCIENCY BULBS PER FBC-ENERGY CONSERVATION R404.

GENERAL MECHANICAL NOTES

1. CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.

2. DESIGN AND SPECIFICATION OF MECHANICAL SYSTEM TO BE DETERMINED BY BUILDER OR LOCAL ENGINEER.

3. BUILDER TO FURNISH ALL DUCTWORK, CONTROL WIRING, PIPING, FITTINGS, ACCESSORIES, ECT. FOR COMPLETE INSTALLATION.

4. MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED.

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE (OUTLET)
	DUPLEX RECEPTACLE - FLOOR MOUNTED
WP WP	DUPLEX RECEPTACLE - WATERPROOF
GFCI	DUPLEX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPT
	DUPLEX RECEPTACLE - 220 VOLT
	SMOKE/CO2 DETECTOR
FE	FIRE EXTINGUISHER
S	SINGLE POLE SWITCH
RH	RANGE HOOD VENT
	EXHAUST FAN
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	PENDANT LIGHT
	FLUORESCENT LIGHT
	GOOSENECK LIGHT
	CHANDELIER LIGHT FIXTURE
	LANTERN LIGHT FIXTURE
	CEILING FAN

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
FIRST FLOOR ELECTRICAL PLAN

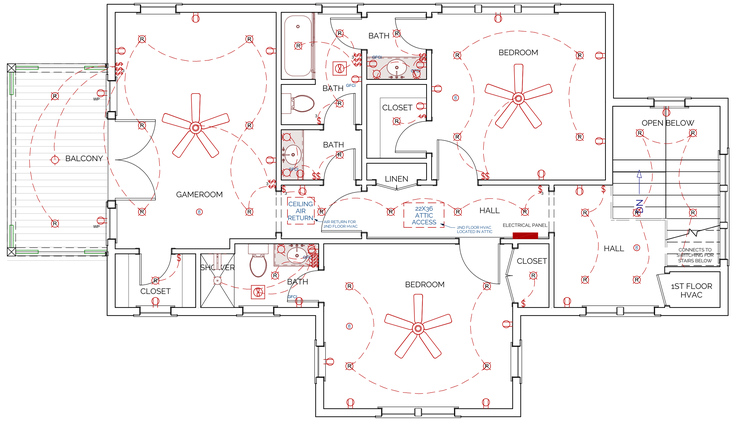
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
67 Bellaire Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
E-101



SECOND FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE (OUTLET)
	DUPLEX RECEPTACLE - FLOOR MOUNTED
WP WP	DUPLEX RECEPTACLE - WATERPROOF
GFCI	DUPLEX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPT
	DUPLEX RECEPTACLE - 220 VOLT
	SMOKE/CO2 DETECTOR
FE	FIRE EXTINGUISHER
S	SINGLE POLE SWITCH
	RANGE HOOD VENT
	EXHAUST FAN
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	PENDANT LIGHT
FL	FLUORESCENT LIGHT
	GOOSENECK LIGHT
	CHANDELIER LIGHT FIXTURE
	LANTERN LIGHT FIXTURE
	CEILING FAN

GENERAL ELECTRICAL NOTES

1. DRAWINGS PROVIDED ARE FOR DIAGRAMMATIC PURPOSES ONLY AND SHOULD ONLY BE USED AS A CONCEPTUAL GUIDE. EXACT LOCATIONS OF BREAKER PANELS, WIRING, CONDUIT, DISCONNECTS, ETC MUST BE DETERMINED BY A LOCAL CERTIFIED ELECTRICIAN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE FINAL LOCATIONS OF ALL ELECTRICAL ITEMS WITH BUYER AND ELECTRICIAN TO MEET LOCAL, ELECTRICAL CODES, STANDARDS, AND REQUIREMENTS.

2. ALL OUTLET LOCATIONS MUST MEET LOCAL BUILDING CODES AND STANDARDS. WET LOCATIONS INCLUDING KITCHEN, BATHROOM, LAUNDRY, OR ANY AREA EXPOSED TO WEATHER MUST HAVE GFCI OUTLETS PER CODE WHERE RUNNING WATER IS PRESENT. WATER PROOF OUTLETS MUST BE USED IN ALL EXTERIOR APPLICATIONS.

3. ELECTRICIAN AND BUILDER TO INSTALL HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUPS AS NEEDED TO MEET CODE REQUIREMENTS AND OWNERS REQUEST. ELECTRICIAN TO MAKE SURE SMOKE DETECTORS ARE INSTALLED IN ALL SLEEPING AREAS, COMMON AREAS NEAR BEDROOMS, KITCHEN, ON EACH FLOOR, AND CLOSE TO STAIRS GOING UP, AND OTHER PLACES REQUIRED BY CODE (NFPA 72).

4. CARBON MONOZIDE DETECTORS ARE TO BE WITHIN 10' OF SLEEPING ROOMS, COMBINATION UNITS MAY BE USED.

5. ELECTRICIAN AND CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO AIR CONDITIONING, WATER HEATERS, CONDENSATE PUMPS, ETC. CONTRACTOR AND ELECTRICAN RESPONSIBLE TO COORDINATE APPROPRIATE AMPACITY REQUIRED AS NEEDED. AREAS IN NON-LIT AREAS REQUIRE ONE OUTLET AND ONE LIGHT. ALL OUTLETS EXPOSED TO WEATHER SHALL HAVE WEATHERPROOF GFCI AS REQUIRED BY CODE.

6. ELECTRICIAN TO PROVIDE PANEL BOARDS OF PROPER AMPACITY AND VOLTAGE FOR ALL ELECTRICAL CIRCUITS.

7. ALL SERVICE REQUIREMENTS MUST BE COORDINATED WITH LOCAL POWER COMPANY INCLUDING LOCATION AND TYPES OF TRANSFORMERS, DISCONNECTS AT EXTERIOR OF BUILDING, VOLTAGES, AMPACITIES AND ALL OTHER ELECTRICAL CONSTRUCTION DETAILS. FEEDERS SHOULD BE SIZED ACCORDING TO NEC REQUIREMENTS.

8. ALL CONCEALED CABLES TO BE RUN IN FLOORS, WALLS, OR CEILINGS AS NEEDED.

9. CONTRACTOR AND ELECTRICIAN TO PROVIDE BLOCKING FOR ALL ELECTRICAL FIXTURES AS NEEDED.

10. RECEPTACLES IN EXTERIOR WALLS MUST BE ISOLATED AND SEALED SOLIDLY.

11. SWITCHES SHOULD TYPICALLY BE MOUNTED 48" ABOVE FINISH FLOOR TO CENTER OF SWITCH. LOCATE SWITCHES ADJACENT TO DOOR CASINGS BUT NOT INTERSECTING DOOR CASINGS OR TRIM.

12. EXTERIOR SECURITY LIGHTING TO BE SELECTED AND LOCATED BY OWNER. ELECTRICIAN TO VERIFY SWITCHING LOCATION.

13. ALL LIGHTING TO BE CFL OR LED HIGH-EFFCIENCY BULBS PER FBC-ENERGY CONSERVATION R404.

GENERAL MECHANICAL NOTES

1. CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.

2. DESIGN AND SPECIFICATION OF MECHANICAL SYSTEM TO BE DETERMINED BY BUILDER OR LOCAL ENGINEER.

3. BUILDER TO FURNISH ALL DUCTWORK, CONTROL WIRING, PIPING, FITTINGS, ACCESSORIES, ECT. FOR COMPLETE INSTALLATION.

4. MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED.

STUDIO

LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
SECOND FLOOR ELECTRICAL PLAN

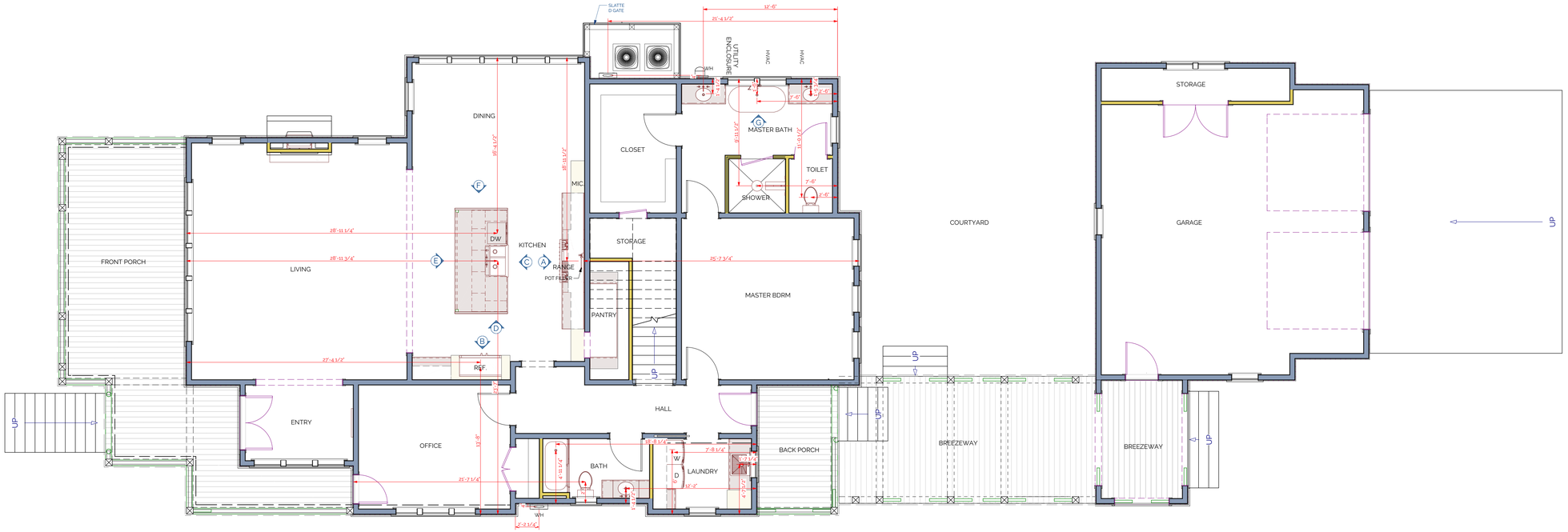
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
67 Beaver Run Rd.
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
E-102



FIRST FLOOR PLUMBING PLAN

GENERAL PLUMBING NOTES

1. PLUMBING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REQUIREMENTS OF LOCAL UTILITY OFFICIALS.

2. INSULATE ALL DOMESTIC WATER SUPPLY LINES IN UN-INSULATED SPACES WITH TUBULAR FOAM INSULATION. INSULATION SHALL BE OF SELF-SEALING TYPE OR SHALL BE TAPED CLOSED WITH FOIL FACED TAPE.

3. CENTER ALL FIXTURES IN SPACE ALLOCATED UNLESS NOTED OTHERWISE. COORDINATE PLACEMENT OF ALL DRAINS WITH FLOORING SUBCONTRACTOR.

4. CLEANOUTS SHALL EXTEND TO SURFACES OR SHALL BE PROVIDED WITH ACCESS DOORS OR SIMILAR DEVICES. CAP ALL PIPE TO BE LEFT OPEN OVERNIGHT, AND PROTECT PIPE DURING INSTALLATION FROM DIRT, GRAVEL, AND OTHER DEBRIS WHICH MIGHT CAUSE BLOCKAGES OR FLOW RESTRICTIONS. ALL VALVES, CLEANOUTS, AND CONTROL DEVICES SHALL BE ACCESSIBLE FOR OPERATION AND MAINTENANCE THROUGH ACCESS DOORS OR PANELS MANUFACTURED FOR SUCH PURPOSES.

5. LEAD SOLDER IS NOT ALLOWED ON THIS PROJECT.

6. SOIL AND VENT STACKS SHALL HAVE CLEANOUTS AS REQUIRED BY APPLICABLE CODES FOR PROPER MAINTENANCE.

7. COORDINATE WITH AN ELECTRICIAN CONCERNING ITEMS REQUIRING ELECTRICAL SERVICE SUCH AS WATER COOLERS, SENSOR FLUSH VALVES AND WATER HEATERS. COORDINATE SERVICE AND AMPACITY REQUIRED.

8. SEAL TO WALL, FLOOR OR COUNTERTOP AROUND ALL FIXTURES WITH TUB AND TILE SEALANT TO MATCH COLOR OF FIXTURE UNLESS OTHERWISE NOTED.

STUDIO

SHEET TITLE:
FIRST FLOOR PLUMBING PLAN

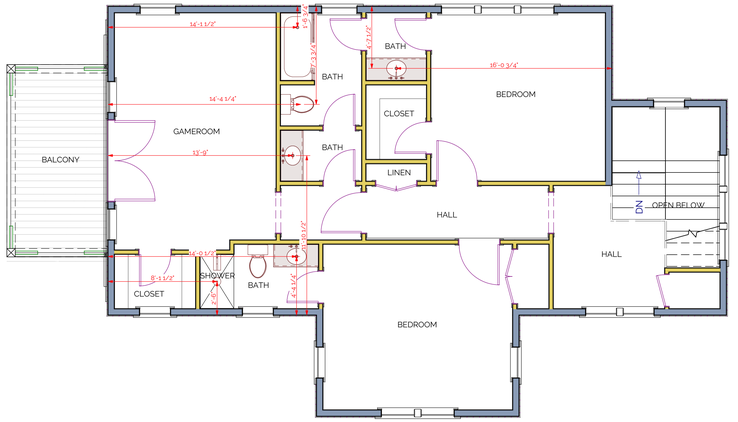
PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
67 Walker Ridge
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
P-101



SECOND FLOOR PLUMBING PLAN

GENERAL PLUMBING NOTES

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STUDIO

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SHEET TITLE:
SECOND FLOOR PLUMBING PLAN

PROJECT DESCRIPTION:
SARAH ALICE RESIDENCE
CRANE ISLAND | LOT #78

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
14 Palace Ave Ste 1
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
5/22/20

SCALE:
1/4"=1'-0"

SHEET:
P-102

DESIGN CRITERIA

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
- FLORIDA BUILDING CODE - RESIDENTIAL, 6TH EDITION (2017)
- ASCE/SEI 7-10 "MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES"
- ASCE 24-14 "FLOOD RESISTANT DESIGN AND CONSTRUCTION"

WIND (C_d = 1.60)

WIND SPEED (MPH)	130
EXPOSURE CATEGORY	D
ENCLOSURE CLASSIFICATION	ENCLOSED
OCCUPANCY	RESIDENTIAL
RISK CATEGORY	II
WIND BOURNE DEBRIS	NO

FLOOR LOADING (C_d = 1.00)

	TC LL	TC DL	BC LL	BC DL
BALCONIES/DECKS	60 psf	10 psf	0 psf	5 psf
GAME ROOMS	60 psf	10 psf	0 psf	5 psf
ALL OTHER AREAS	40 psf	10 psf	0 psf	5 psf

ROOF LOADING (C_d = 1.25)

	TC LL	TC DL	BC LL	BC DL
SHINGLE/METAL	20 psf	7 psf	10 psf *	5 psf
TILE	20 psf	15 psf	10 psf *	5 psf

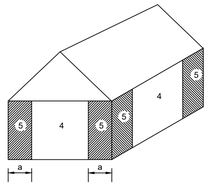
* BC LL NON-CONCURRENT W/ OTHER LL's. INCREASE BC LL TO 20psf IN ATTIC AREAS W/ STORAGE

DEFLECTION CRITERIA

FLOOR:	LL	L/360
	TL	L/240
ROOF:	LL	L/240
	TL	L/180
WALLS:	WIND	L/360 (STUCCO)
	WIND	L/240 (BRITTLE)
	WIND	L/180 (FLEXIBLE)

C&C DESIGN PRESSURES (ULT)

LOCATION	AREA (SF)	INTERIOR ZONE 4 (psf)		END ZONE 5 (psf)	
WALLS, WINDOWS, & DOORS	10	+51.80	-56.19	+51.80	-69.36
	20	+49.47	-53.86	+49.47	-64.70
	50	+46.38	-50.78	+46.38	-58.53
	100	+44.05	-48.44	+44.05	-53.86
	200	+41.72	-46.11	+41.72	-49.19
	1000	+38.63	-43.02	+38.63	-43.02
16FT GARAGE DOOR				+41.72	-49.19
SOFFITS		+51.80	-56.19	+51.80	-69.36
					a= 4.0FT

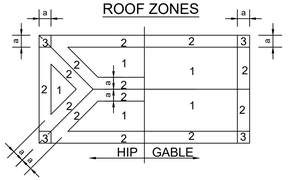


WALL ZONES (GENERIC BUILDING SHOWN)

ROOF-C&C DESIGN PRESSURES (ULT)

LOCATION	AREA (SF)	POSITIVE (ALL ZONES)	ZONE 1 (psf)	ZONE 2 (psf)	ZONE 3 (psf)
ROOF	0-10	+47.41	-51.80	-60.58	-60.58
	11-20	+38.16	-49.16	-57.94	-57.94
	21-50	+25.93	-45.67	-54.45	-54.45
	51+	+16.68	-43.02	-51.80	-51.80
OVERHANGS	0-10	- -	-+7.90	-95.70	-95.70
	11-20	- -	-+7.90	-93.06	-93.06
	21-50	- -	-+7.90	-89.57	-89.57
	51+	- -	-+7.90	-86.92	-86.92

ROOF ZONES



ROOF ZONES (GENERIC BUILDING SHOWN)

GENERAL NOTES

CONCRETE

1. ALL CONCRETE HAS BEEN DESIGNED IN ACCORDANCE WITH ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY" (2014)
2. MIXING AND DELIVERY OF CONCRETE SHALL COMPLY WITH ACI 318, ACI 301, AND ASTM C94. CONCRETE SLUMP NOT TO EXCEED 6" IN ACCORDANCE WITH ASTM C143
3. CONCRETE SHALL MEET THE MIN COMPRESSIVE STRENGTH (f'c) AT 28 DAYS AS FOLLOWS:
   a. SLABS ON GROUND AND FOOTINGS f'c = 2,500 psi
   b. STRUCTURAL WALLS, BEAMS, AND COLUMNS f'c = 3,000 psi
4. STEEL REINFORCING FOR FOOTINGS SHALL COMPLY WITH ASTM A615 DEFORMED BARS AND HAVE A MIN YIELD STRENGTH OF 40,000 psi (GRADE 40)
5. SEE FOUNDATION PLAN AND DETAILS FOR ALL ADDITIONAL CONCRETE AND REINF REQUIREMENTS AND SPECIFICATIONS
6. SLABS ON GROUND SHALL BE REINFORCED PER ONE OF THE FOLLOWING METHODS:
   a. 6x6 W1.4xW1.4 WWF SHALL PLACED IN THE MIDDLE TO UPPER THIRD OF THE SLAB, SUPPORTED AT A MAX 3FT SPACING, AND SHALL CONFORM TO ASTM A1064/A1064M. EDGES SHALL BE LAPPED A MINIMUM OF 8"
   b. SYNTHETIC FIBER REINFORCEMENT - FIBER LENGTH BETWEEN ½"-2¼". DOSAGE AMOUNTS SHALL BE 0.75-3.0 POUNDS PER CUBIC YARD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL COMPLY W/ ASTM C116

SOILS

1. ALL SLABS ON GROUND AND FOOTINGS HAVE BEEN DESIGNED ASSUMING NON-EXPANSIVE SOIL WITH A MIN ALLOWABLE SOIL CAPACITY OF 2,000 psf
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A SOILS INVESTIGATION REPORT FROM A LICENSED GEOTECHNICAL ENGINEER AND SHALL NOTIFY EOR IF ANY SOIL CONDITIONS DIFFER FROM THE ASSUMPTIONS STATED ON THIS PLAN SET
3. FDN'S SHALL BE FULLY SUPPORTED BY UNDISTURBED NATURAL SOILS OR STRUCTURAL COMPACTED FILL FREE OF ORGANICS, DEBRIS OR ANY OTHER DELETERIOUS MATERIAL.
4. STRUCTURAL COMPACTED FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. ALL FILL GREATER THAN 12" IN DEPTH SHALL BE INSPECTED FOR PROPER COMPACTION PRIOR TO CONCRETE POUR IN ACCORDANCE WITH ASTM D1557
5. SOILS SHALL BE TREATED FOR SUBTERRANEAN TERMITES OR BY OTHER CODE APPROVED TERMITE PREVENTION METHOD AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
6. SLABS ON GROUND SHALL BE PLACED OVER A MIN 6-MIL (0.006") POLYETHYLENE VAPOR RETARDER, ALL JOINTS SHALL BE LAPPED A MINIMUM OF 6"

MASONRY

1. ALL MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE CONSTRUCTED IN ACCORDANCE TO TMS 402/ACI 530/ASCE 5 (2013)
2. ALL CMU SHALL CONFORM TO ASTM C90 AND BE NORMAL WEIGHT W/ MIN COMPRESSIVE STRENGTH OF 2,000 psi (f'm = 1,500 psi)
3. ALL MASONRY SHALL BE LAID IN RUNNING BOND PATTERN W/ FULL MORTAR BEDS
4. MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE TYPE M OR TYPE S WITH MIN COMPRESSIVE STRENGTH OF 2,000 psi AT 28 DAYS.
5. ALL GROUT USED IN MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C476. GROUT SHALL HAVE THE MIN COMPRESSIVE STRENGTH OF 2,000 psi AT 28 DAYS. GROUT SLUMP SHALL BE BETWEEN 8"-11"
6. STEEL REINFORCING FOR MASONRY SHALL COMPLY WITH ASTM 615 DEFORMED BARS AND HAVE A MINIMUM YIELD STRENGTH OF 40,000 psi (GRADE 40)
7. ALL MASONRY STEMWALL FOUNDATIONS AND WALL CELLS CONTAINING VERTICAL REINF SHALL BE GROUT FILLED SOLID
8. PRE-CAST LINTELS SHALL BE PROVIDED ABOVE ALL OPENINGS, TEMPORARY SHORING SHALL BE PROVIDED BY CONTRACTOR FOR ALL LINTEL SPANS 6FT OR GREATER

WOOD FRAMING

1. ALL WOOD AND WOOD-BASED PRODUCTS HAS BEEN DESIGNED IN ACCORDANCE WITH NDS FOR WOOD CONSTRUCTION AND NDS SUPPLEMENT (2015)
2. ALL STRUCTURAL SAWN LUMBER AND ENGINEERED WOOD PRODUCT SHALL BE IDENTIFIED BY GRADE MARK OF AN ACCREDITED LUMBER GRADING OR INSPECTION AGENCY
3. ALL STRUCTURAL WOOD OR WOOD-BASED MEMBERS IN CONTACT WITH SOIL, CONCRETE, MASONRY, OR EXPOSED TO WEATHER SHALL BE PT ACCORDING TO AWPA U1 AND/OR AWPA M4, BASED ON INTENDED USE.
4. REFERENCE FRC TABLE R602.3 FOR CODE PRESCRIBED CONNECTIONS. ALL FRAMING CONNECTIONS SPECIFIED ON PLAN ARE IN ADDITION TO THESE MIN CODE REQUIREMENTS

PRE-ENGINEERED WOOD TRUSSES

1. ALL PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH ANSI/TPI 1 (2014)
2. ALL TRUSSES SHALL BE PREPARED BY A DELEGATED LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND SHALL MEET OR EXCEED THE MIN DESIGN CRITERIA SPECIFIED ON THESE PLANS
3. ALL TRUSS-TO-TRUSS, MULTI-PLY TRUSS CONNECTIONS, AND BEAMS PROVIDED WITHIN THE ROOF AND/OR FLOOR SYSTEM ARE THE RESPONSIBILITY OF THE DELEGATED TRUSS ENGINEER AND SHALL BE SUBMITTED FOR APPROVAL TO THE EOR PRIOR TO FABRICATION
4. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH THE SBCA BCSI "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES"
5. ALL TRUSS UPLIFT REACTIONS & UPLIFT CONNECTORS REQ HAVE BEEN CALCULATED BY THE EOR, CONNECTORS SPECIFIED ON THIS PLAN SET SUPERCEDE CONNECTORS & UPLIFTS SHOWN ON TRUSS MANUFACTURER'S SHOP DRAWINGS
6. CONTACT EOR IF TRUSS CONSTRUCTION DOCUMENTS PROVIDED BY TRUSS MANUFACTURER DIFFERS FROM THE LAYOUT SHOWN ON THIS PLAN SET

ROOF, FLOOR, & WALL SHEATHING

1. ALL WOOD STRUCTURAL PANEL SHEATHING SHALL CONFORM TO DOC PS 1 OR DOC PS 2
2. PANELS SHALL BE IDENTIFIED FOR GRADE, BOND CLASSIFICATION, AND PERFORMANCE CATEGORY BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY
3. SEE FRAMING NOTES FOR SHEATHING THICKNESS, SPAN RATING, FASTENING, AND BLOCKING REQUIREMENTS
4. ALL SHEATHING SHALL BE INSTALLED WITH LONG DIMENSION (STRENGTH AXIS) PERPENDICULAR TO SUPPORTS UNO ON PLAN

WATERPROOFING

1. DESIGN AND INSTALLATION OF ALL WATERPROOFING, FLASHING, AND ROOF/WALL COVERING ASSEMBLIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ARCHITECT OF RECORD.

NAIL SIZES

SPECIFICATION	DIAMETER (Ø)	LENGTH
8d COMMON	0.131"	2 ½"
8d RINGSHANK	0.113"	2 ½"
10d x 1 ½"	0.148"	1 ½"
10d	0.131"	3"
10d COMMON	0.148"	3"
16d SINKER	0.148"	3 ¼"
16d COMMON	0.162"	3 ½"

NOTE: ALL CONNECTIONS ON PLAN SHALL BE W/ 10d, UNO

METAL CONNECTOR SCHEDULE

SIMPSON	USP	CONNECTION AT MEMBER	ANCHORAGE
H2.5T	RT7	(5) 8d x 1 ½" EACH END	- -
H8	RT8A	(5) 10d x 1 ½" EACH END	- -
MTS12	MTW12	(7) 10d x 1 ½" EACH END	- -
HTS20	HTW20	(11) 10d x 1 ½" EACH END	- -
LGT3-SDS2.5	LUGT3	(12) ¼"x2 ½" SDS (WS25) TO GIRDER	(26) 16d SINKERS TO STUDS
LGT4-SDS3	LUGT4	(16) ¼"x3" SDS (WS3) TO GIRDER	(30) 16d SINKERS TO STUDS
MSTA24	MSTA24	(9) 10d COMMON EACH END	- -
MSTA36	MSTA36	(13) 10d COMMON EACH END	- -
CS18	CS20	(9) 10d COMMON EACH END	- -
DTT2Z	DTB-TZ	(8) ¼" x 1 ½" WOOD SCREWS	½" Ø x 4 ½" SCREW ANCHOR OR EMBED
HTT4	HTT45	(18) 16d x 2 ½"	⅝" Ø ANCHOR W/ 6" EMBED
HTT5	HTT45	(26) 16d x 2 ½"	⅝" Ø ANCHOR W/ 6" EMBED
ABU44Z	PAU44	(12) 16d COMMON	⅝" Ø ANCHOR W/ 7" EMBED
ABU66Z	PAU66	(12) 16d COMMON	⅝" Ø ANCHOR W/ 7" EMBED

NOTES:
1. ALL CONNECTORS SPECIFIED PER SIMPSON STRONG-TIE "WOOD CONSTRUCTION CONNECTORS" CATALOG (2019-2020) & USP "STRUCTURAL CONNECTORS," 59TH EDITION (2018)
2. ALL CONNECTORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
3. ANY CONNECTORS NOT SPECIFIED IN TABLE ABOVE, SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS
4. POSITIVE PLACEMENT GUN NAILS W/ EQUAL DIAMETER & MIN 2 ½" LONG MAY BE USED ILO COMMON NAILS ON CS18 STRAPS, MSTA STRAPS, AND ABU POST BASE ANCHORS
5. PLAN SPECIFIED CONNECTORS MAY BE SUBSTITUTED W/ EQUAL OR GREATER ALTERNATIVE AS DETERMINED BY PRODUCT MANUFACTURER
6. ALL POST-INSTALLED AND EMBED ANCHORS IN CONCRETE SHALL BE INSTALLED W/ SIMPSON SET-XP, AT-XP, OR EQUIVALENT
7. FASTENERS, CONNECTORS, AND ACCESSORIES IN CONTACT WITH PT WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL OR STAINLESS STEEL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
8. IF FOR EXTERIOR USE OR WITH ACQ/CA/MCA TREATED WOOD, CONNECTORS & FASTENERS SHALL BE HOT-DIPPED GALVANIZED, G-185 (Z-MAX), OR STAINLESS STEEL

SHEET INDEX

ABBREVIATIONS

ACI	AMERICAN CONCRETE INSTITUTE
ADDT	ADDITIONAL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APA	THE ENGINEERED WOOD ASSOCIATION
ARCH	ARCHITECTURAL DRAWINGS
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ATR	ALL-THREAD ROD
AWPA	AMERICAN WOOD PROTECTION ASSOCIATION
BC	BOTTOM CHORD
BCSI	BUILDING COMPONENT SAFETY INFORMATION
BRG	BEARING
C&C	COMPONENTS & CLADDING
CONC	CONCRETE
C_d	LOAD DURATION FACTOR
CONT	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
DBL	DOUBLE
DL	DEAD LOAD
DOC	DEPARTMENT OF COMMERCE
EOR	ENGINEER OF RECORD
EW	EACH WAY
EWP	ENGINEERED WOOD PRODUCT
f'c	CONCRETE COMPRESSIVE STRENGTH
FBC	FLORIDA BUILDING CODE
FDN	FOUNDATION
FFE	FINISHED FLOOR ELEVATION
f'm	MASONRY COMPRESSIVE STRENGTH
FRC	FLORIDA RESIDENTIAL CODE
FT	FEET
FTG	FOOTING
GC_{pi}	INTERNAL PRESSURE COEFFICIENT
HDR	HEADER
HGT	HEIGHT
ILO	IN LIEU OF
ksi	KIPS PER SQUARE INCH
LL	LIVE LOAD
LSL	LAMINATED STRAND LUMBER (1.55E- 1 ¾" WIDE PLIES UNO)
LVL	LAMINATED VENEER LUMBER (2.0E- 1 ¾" WIDE PLIES UNO)
MAX	MAXIMUM
MIN	MINIMUM
NDS	NATIONAL DESIGN SPECIFICATION
No.	NUMBER
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
PLT	PLATE
psf	POUNDS PER SQUARE FOOT
psi	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REINF	REINFORCEMENT
REQ	REQUIRED
SBCA	STRUCTURAL BUILDING COMPONENTS ASSOCIATION
SEI	STRUCTURAL ENGINEERING INSTITUTE
SF	SQUARE FEET (AREA)
SIM	SIMILAR TO DETAIL/CALLOUT
SPF	SPRUCE PINE FIR
SW	SHEARWALL
SYP	SOUTHERN YELLOW PINE
TC	TOP CHORD
TL	TOTAL LOAD
TMS	THE MASONRY SOCIETY
TOP	TOP OF PLATE
TOM	TOP OF MASONRY
TPI	TRUSS PLATE INSTITUTE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W/	WITH
W/O	WITHOUT
WSP	WOOD STRUCTURAL PANEL
WWF	WELDED WIRE FABRIC

C A M BRAD FORD HOMES
CAM BRADFORD HOMES
PO BOX 770399
WINTER GARDEN, FL 34777
905-945-5486

SARAH ALICE RESIDENCE
CRANE ISLAND - LOT 78
FERNANDINA BEACH, FL
NASSAU COUNTY

PROJECT NUMBER 19-0600

SHEET NUMBER S0.0

SHEET NAME GENERAL NOTES

REVISIONS

DATE	DESCRIPTION

DESIGNED AKR

REVIEWED BDP

Russell Rowland
13241 BARTRAM PARK BLVD #813
JACKSONVILLE, FL 32258
P 904-503-3283 RUSSROW.COM
C.A. No. 32756

ADAM K. RUSSELL
LICENSE
No. 77693
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

FOUNDATION NOTES:

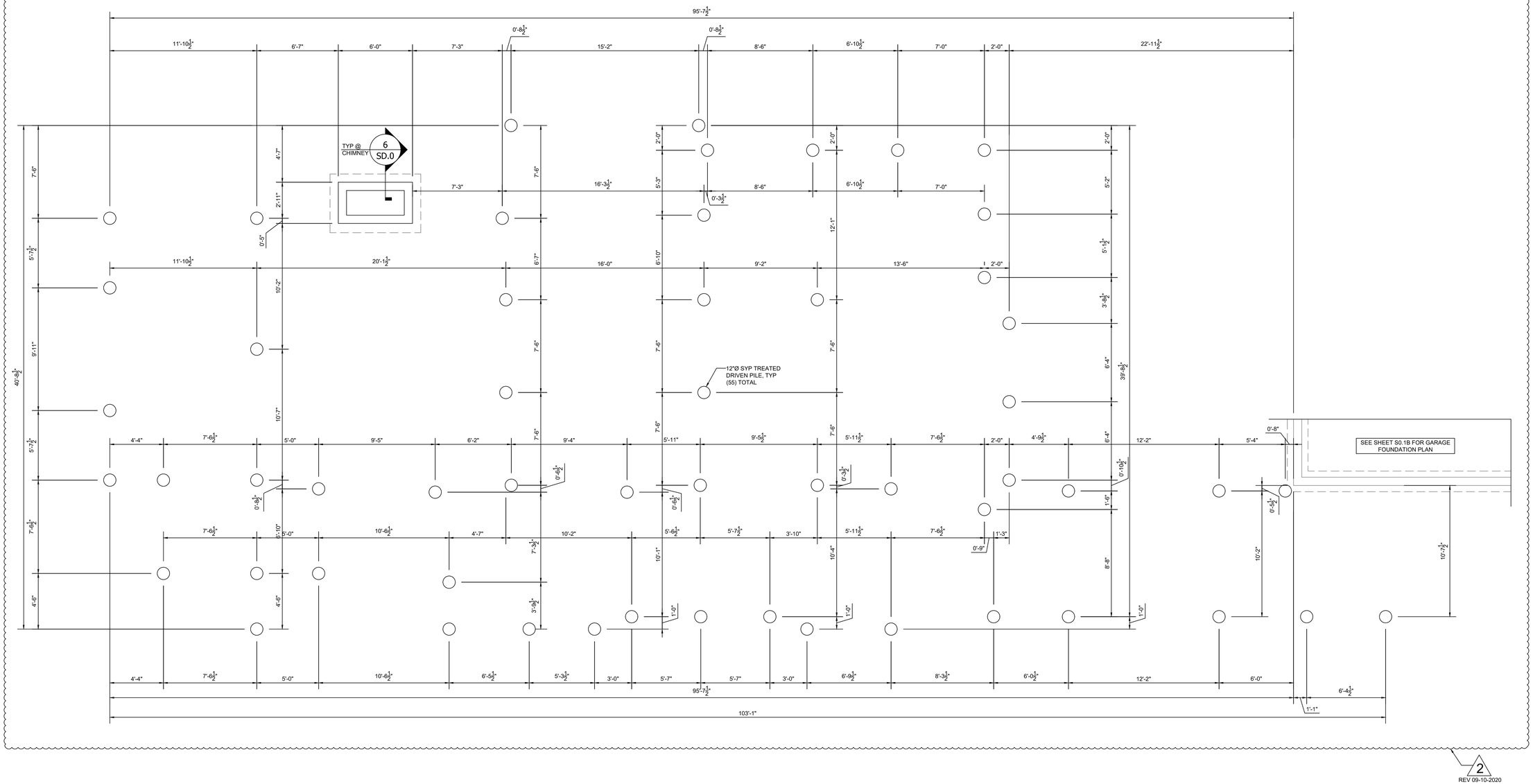
SEE CONCRETE AND SOIL GENERAL NOTES SHEET S0.0 FOR ALL ADDITIONAL SPECIFICATIONS.

TIMBER PILES — 12"Ø *TREATED SYP*

1. MINIMUM 12"Ø TIMBER PILE - LAYOUT AND SPACING PER PLAN
2. PILE TO BE DRIVEN TO ACHIEVE THE FOLLOWING MINIMUM CAPACITIES:
   - 2.1. ALLOWABLE COMPRESSION — 24,000 #
   - 2.2. ALLOWABLE LATERAL LOAD — 1,000 #
   - 2.3. ALLOWABLE TENSION — 5,000 #
3. MINIMUM THICKNESS — 3½"
4. PROVIDE SEAT CUT FOR ALL BEAMS IN TOP OF PILES - SEE SHEETS S0.2 & S0.3 FOR BEAM SIZES AND CONNECTIONS TO PILES
5. LIMIT SEAT CUTS TO MAX 50% OF PILE CROSS SECTION

LEGEND & SYMBOLS

◯ 12"Ø TREATED SYP DRIVEN TIMBER PILE, (55) TOTAL - SEE TYP DETAIL 1/SD.0 & SEE SHEET S0.2 FOR EST. FINAL PILE ELEVATIONS



2
REV 09-10-2020

0.1a HOUSE FOUNDATION PLAN
Scale: 1/4"=1'-0"

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FERNANDINA BEACH, FL
NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
S0.1A

SHEET NAME
HOUSE FOUNDATION PLAN

REVISIONS

DATE	DESCRIPTION
09-10-2020	2 ADD TIMBER PILE FOUNDATION

DESIGNED
AKR

REVIEWED
BDP

Russell Rowland
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ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

FOUNDATION NOTES:

SEE CONCRETE AND SOIL GENERAL NOTES SHEET S0.0 FOR ALL ADDITIONAL SPECIFICATIONS.

SLAB ON GROUND

1. MINIMUM COMPRESSIVE STRENGTH — f'c= 2,500psi AT 28 DAYS
2. MINIMUM THICKNESS — 3 ½"
3. REINFORCED W/ EITHER:
   a. 6x6 W1.4 x 1.4 WWF W/ MIN 8" LAP OR
   b. FIBER REINFORCED W/ ½"-2 ¼" STRAND LENGTH AND 0.75- 3.0 POUNDS PER CUBIC YARD DOSAGE

CONCRETE FOOTINGS

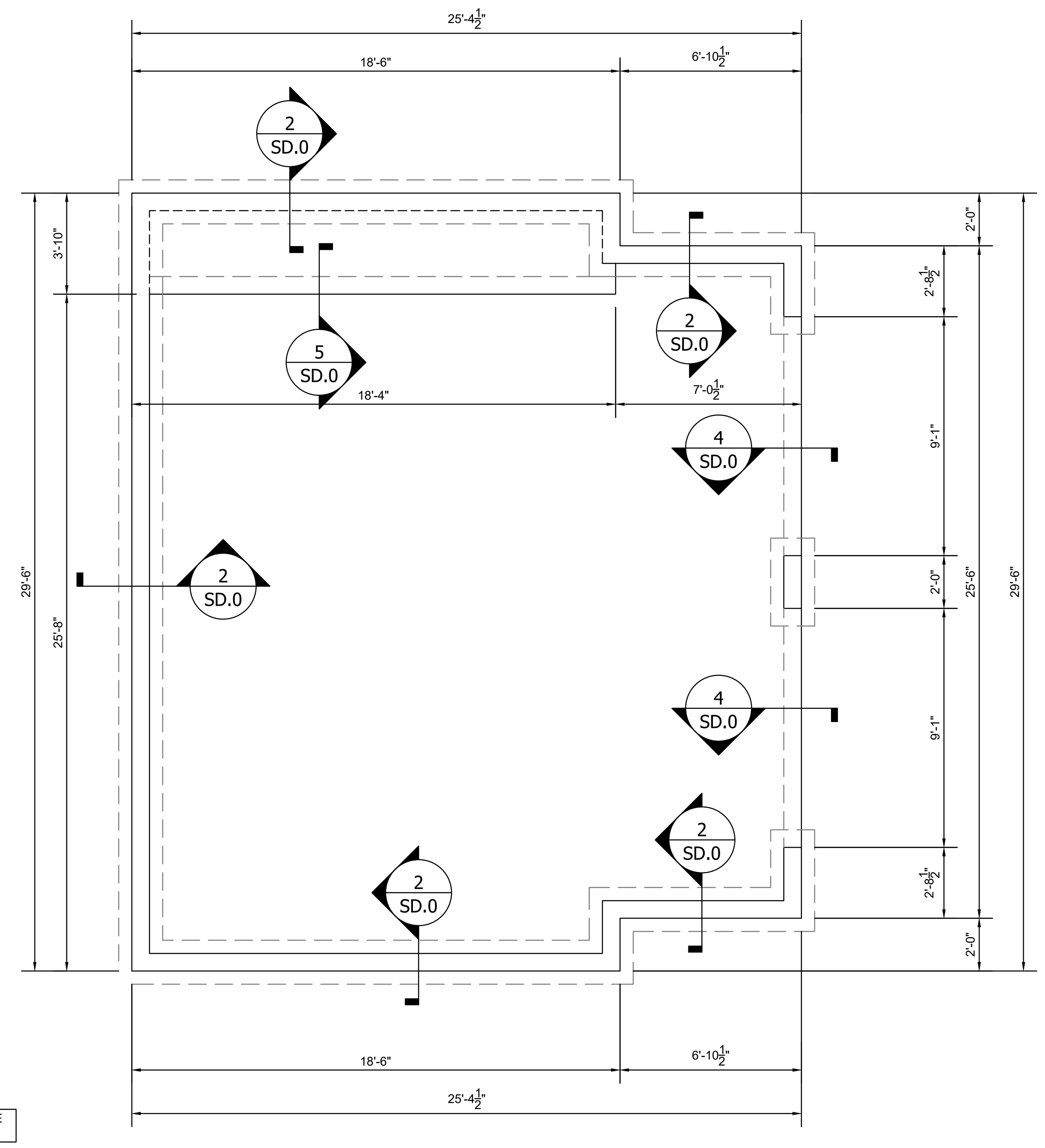
4. MINIMUM COMPRESSIVE STRENGTH — f'c=2,500psi AT 28 DAYS
5. SEE FOUNDATION DETAILS FOR FOOTING THICKNESS, WIDTH AND REINF REQUIREMENTS
6. REINF SHALL BE MIN GRADE 40 AND LAPPED AS FOLLOWS:
   a. No.4 — (48) BAR DIAMETERS — MIN 24" LAP
   b. No.5 — (48) BAR DIAMETERS — MIN 30" LAP
7. PROVIDE BENT BARS AT ALL CORNERS TO MATCH CORNER ANGLE, CORNER BARS SHALL EXTEND MIN 24" EACH SIDE
8. PROVIDE RE-ENTRANT CORNER REINF AS REQ PER RE-ENTRANT CORNER REINFORCEMENT DETAIL, SHEET SD.0

STEMWALL FOUNDATIONS

9. ALL MASONRY UNITS SHALL BE 8" NOMINAL WIDTH AND LAID IN RUNNING BOND PATTERN
10. SEE FOUNDATION DETAILS FOR ALL REINF SIZE AND SPACING REQUIREMENTS
11. SEE FOUNDATION DETAILS FOR DOWEL SIZING AND SPACING
12. ALL VERTICAL DOWELS TO HAVE STANDARD 10" HOOK AND TIE INTO FOOTING REINF
13. ALL VERTICAL DOWELS SHALL EXTEND MIN 25" OUT OF FOOTING TO LAP W/ VERTICAL REINF
14. VERTICAL REINF TO HAVE STANDARD 10" HOOK AND TIE INTO CHAIR BLOCK/BOND BEAM HORIZONTAL REINF

FOOTING SCHEDULE

F16	16"x16"x12" DEEP W/ (2) No.4 OR (2) No.5 EW
F24	24"x24"x18" DEEP W/ (4) No.4 OR (3) No.5 EW
F30	30"x30"x18" DEEP W/ (5) No.4 OR (4) No.5 EW
F36	36"x36"x18" DEEP W/ (6) No.4 OR (5) No.5 EW
F40	40"x40"x20" DEEP W/ (8) No.4 OR (5) No.5 EW
F44	44"x44"x20" DEEP W/ (8) No.4 OR (6) No.5 EW
F48	48"x48"x20" DEEP W/ (9) No.4 OR (6) No.5 EW
CF24x16	CONTINUOUS 24"W x 16"D W/ (3) No.5 TOP AND BOTTOM, TYP UNO - SEE 6/SD.0



SEE SHEET S0.1A FOR HOUSE FOUNDATION PLAN

0.1b GARAGE - FOUNDATION PLAN

Scale: 1/4"=1'-0"

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NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
S0.1B

SHEET NAME
GARAGE FOUNDATION PLAN

REVISIONS

DATE	DESCRIPTION

DESIGNED
AKR

REVIEWED
BDP

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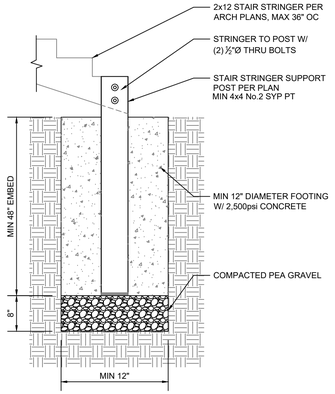
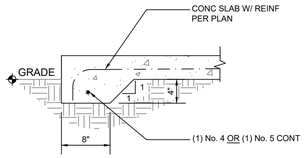
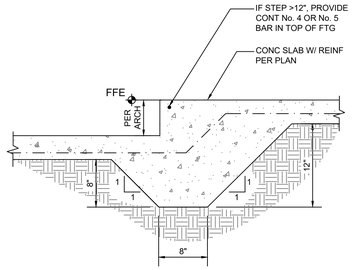
03-18-2020



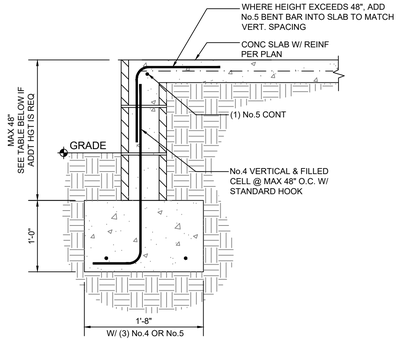
3 STAIR STRINGER EMBED POST SECTION



4 THICKENED EDGE FOOTING

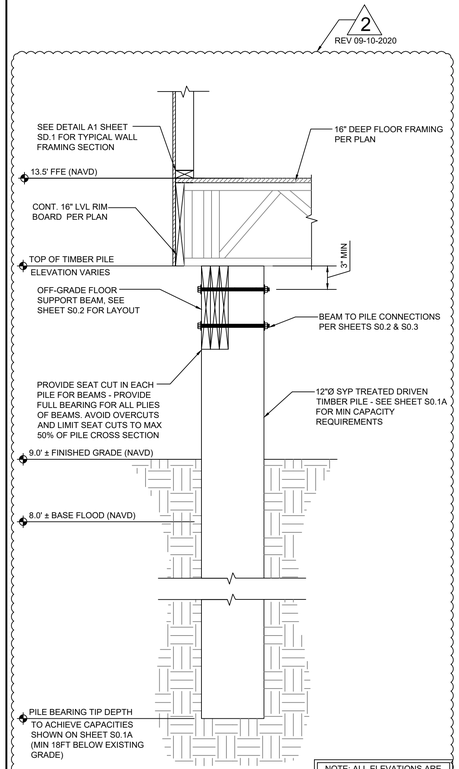


5 NON-BEARING CURB STEP



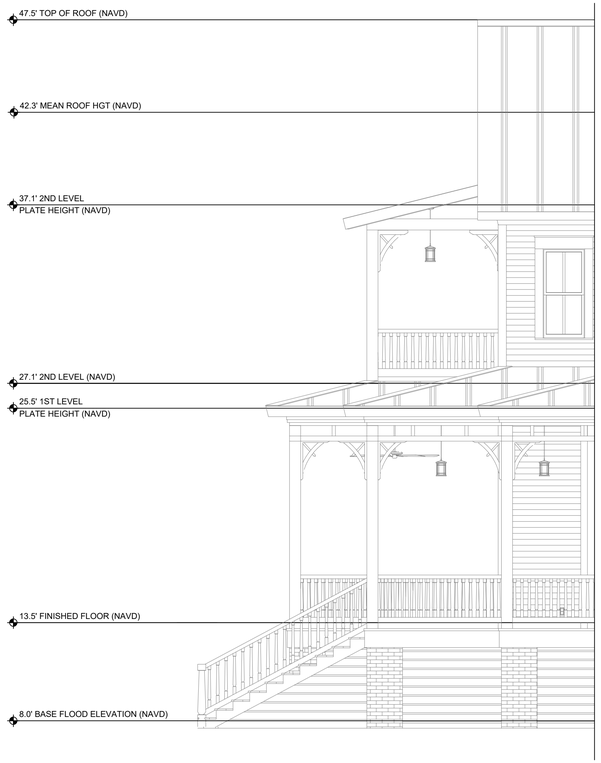
6 GARAGE/CHIMNEY FOOTER SECTION

2
REV 09-10-2020



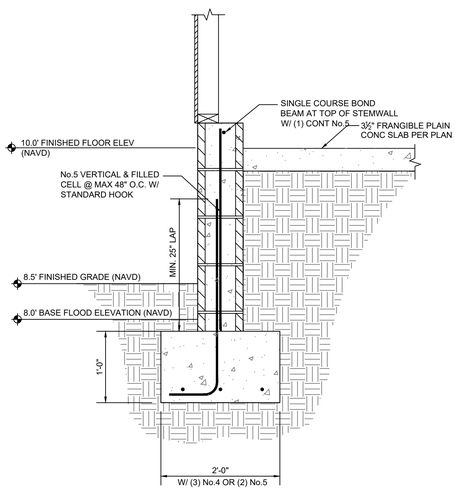
NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

1 FOUNDATION SECTION @ HOUSE



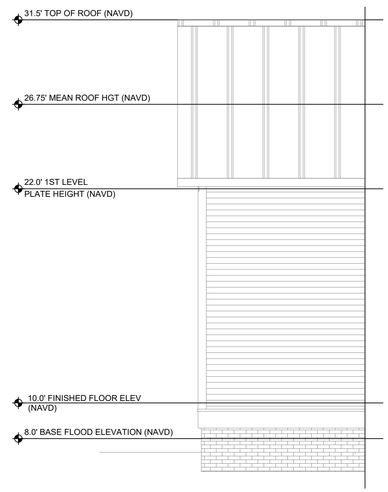
NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

1.1 ELEVATION SECTION @ HOUSE



NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

2 FOUNDATION SECTION @ GARAGE



NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

2.1 ELEVATION SECTION @ CARRIAGE HOUSE

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SARAH ALICE RESIDENCE
CRANE ISLAND - LOT 78
FERNANDINA BEACH, FL
NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
SD.0

SHEET NAME
FOUNDATION DETAILS

REVISIONS

DATE	DESCRIPTION
09-10-2020	2 ADD TIMBER PILE FOUNDATION

DESIGNED
AKR

REVIEWED
BDP

Russell Rowland
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ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

OFF-GRADE SUPPORT FRAMING NOTES:

BEAMS *LVL AND No.2 SYP PT*

1. PROVIDE SEAT CUT AND ATTACH EACH BEAM TO TIMBER PILE W/ (2) ⅝"Ø THRU BOLTS W/ NUT AND WASHER MIN PER DETAIL 1/SD.0 UNLESS NOTED OTHERWISE ON PLAN
2. WHERE STRAPS ARE CALLED OUT ON PLAN, THIS IS IN ADDITION TO THRU BOLTS
3. ALL BEAMS TO BE CONT. AND ONLY SPLICED ON TOP OF PILES. PROVIDE MIN (2) BOLTS TO EACH SIDE OF BEAM AT EACH SPLICE LOCATION
4. ALL HANGERS SPECIFIED ON PLAN ARE FOR BEAM-TO-BEAM OR TRUSS-TO-BEAM CONNECTIONS AND ARE IN ADDITION TO BEAM-TO-PIER CONNECTIONS

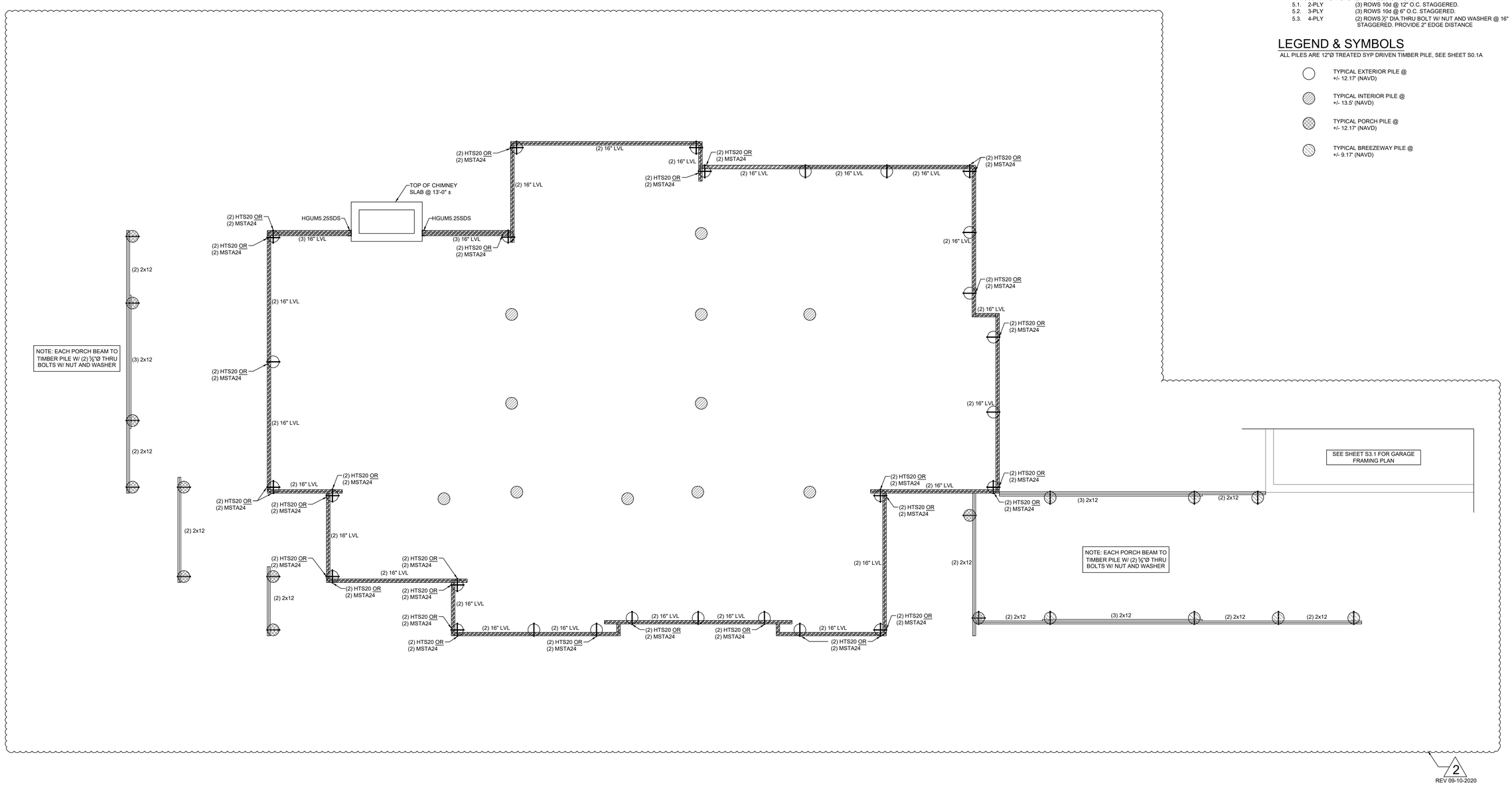
BEAM FASTENING

5. FASTEN EACH BEAM PLY TOGETHER WITH FOLLOWING, UNO ON PLAN OR PER TRUSS MANUFACTURER'S SPECIFICATIONS:
   - 5.1. 2-PLY — (3) ROWS 10d @ 12" O.C. STAGGERED.
   - 5.2. 3-PLY — (3) ROWS 10d @ 6" O.C. STAGGERED.
   - 5.3. 4-PLY — (2) ROWS ½" DIA.THRU BOLT W/ NUT AND WASHER @ 16" STAGGERED. PROVIDE 2" EDGE DISTANCE

LEGEND & SYMBOLS

ALL PILES ARE 12"Ø TREATED SYP DRIVEN TIMBER PILE, SEE SHEET S0.1A

- TYPICAL EXTERIOR PILE @ +/- 12.17' (NAVD)
- TYPICAL INTERIOR PILE @ +/- 13.5' (NAVD)
- TYPICAL PORCH PILE @ +/- 12.17' (NAVD)
- TYPICAL BREEZEWAY PILE @ +/- 9.17' (NAVD)



0.2 OFF-GRADE FLOOR SUPPORT FRAMING PLAN

Scale: 1/4"=1'-0"

2 REV 09-10-2020

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PROJECT NUMBER 19-0600

SHEET NUMBER S0.2

SHEET NAME OFF-GRADE FLOOR SUPPORT PLAN

REVISIONS

DATE	DESCRIPTION
09-10-2020	2 ADD TIMBER PILE FOUNDATION

DESIGNED AKR

REVIEWED BDP

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Digitally signed by Adam K. Russell

ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

NOTE: ALL ELEVATIONS ARE SHOWN AS NAVD. TO CONVERT VALUES TO NGVD ADD 1.05' TO ELEVATIONS SHOWN

OFF-GRADE SUPPORT FRAMING NOTES:

BEAMS *LVL AND No.2 SYP PT*

1. PROVIDE SEAT CUT AND ATTACH EACH BEAM TO TIMBER PILE W/ (2) ½"Ø THRU BOLTS W/ NUT AND WASHER MIN PER DETAIL 1/SD.0 UNLESS NOTED OTHERWISE ON PLAN
2. WHERE STRAPS ARE CALLED OUT ON PLAN, THIS IS IN ADDITION TO THRU BOLTS
3. ALL BEAMS TO BE CONT. AND ONLY SPLICED ON TOP OF PILES. PROVIDE MIN (2) BOLTS TO EACH SIDE OF BEAM AT EACH SPLICE LOCATION
4. ALL HANGERS SPECIFIED ON PLAN ARE FOR BEAM-TO-BEAM OR TRUSS-TO-BEAM CONNECTIONS AND ARE IN ADDITION TO BEAM-TO-PIER CONNECTIONS

BEAM FASTENING

5. FASTEN EACH BEAM PLY TOGETHER WITH FOLLOWING, UNO ON PLAN OR PER TRUSS MANUFACTURER'S SPECIFICATIONS:
   - 5.1. 2-PLY (3) ROWS 10d @ 12" O.C. STAGGERED.
   - 5.2. 3-PLY (3) ROWS 10d @ 6" O.C. STAGGERED.
   - 5.3. 4-PLY (2) ROWS ½" DIA.THRU BOLT W/ NUT AND WASHER @ 16" STAGGERED. PROVIDE 2" EDGE DISTANCE

OFF-GRADE FRAMING NOTES:

FLOOR TRUSSES

6. ATTACH EACH FLOOR TRUSS TO PERIMETER BEAM BELOW W/ (3) 10d TOE-NAILS AND (1) SDWC15600, UNO ON PLAN
7. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BCSI GUIDE
8. INSTALL CONT. 16" LVL RIM BOARD AROUND ENTIRE PERIMETER OF FLOOR SYSTEM. FASTEN TO EACH FLOOR TRUSS W/ (8) 10d. SEE TYPICAL DETAIL A1/SD.1
9. FASTEN EACH LVL TOGETHER @ EXTERIOR CORNERS W/ (2) A35 CLIPS

FLOOR SHEATHING

10. SHEATH FLOOR FRAMING W/ 23/32" TONGUE AND GROOVE OSB OR PLYWOOD.
11. FASTEN SHEATHING TO ALL SUPPORTING MEMBERS W/ 10d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD.

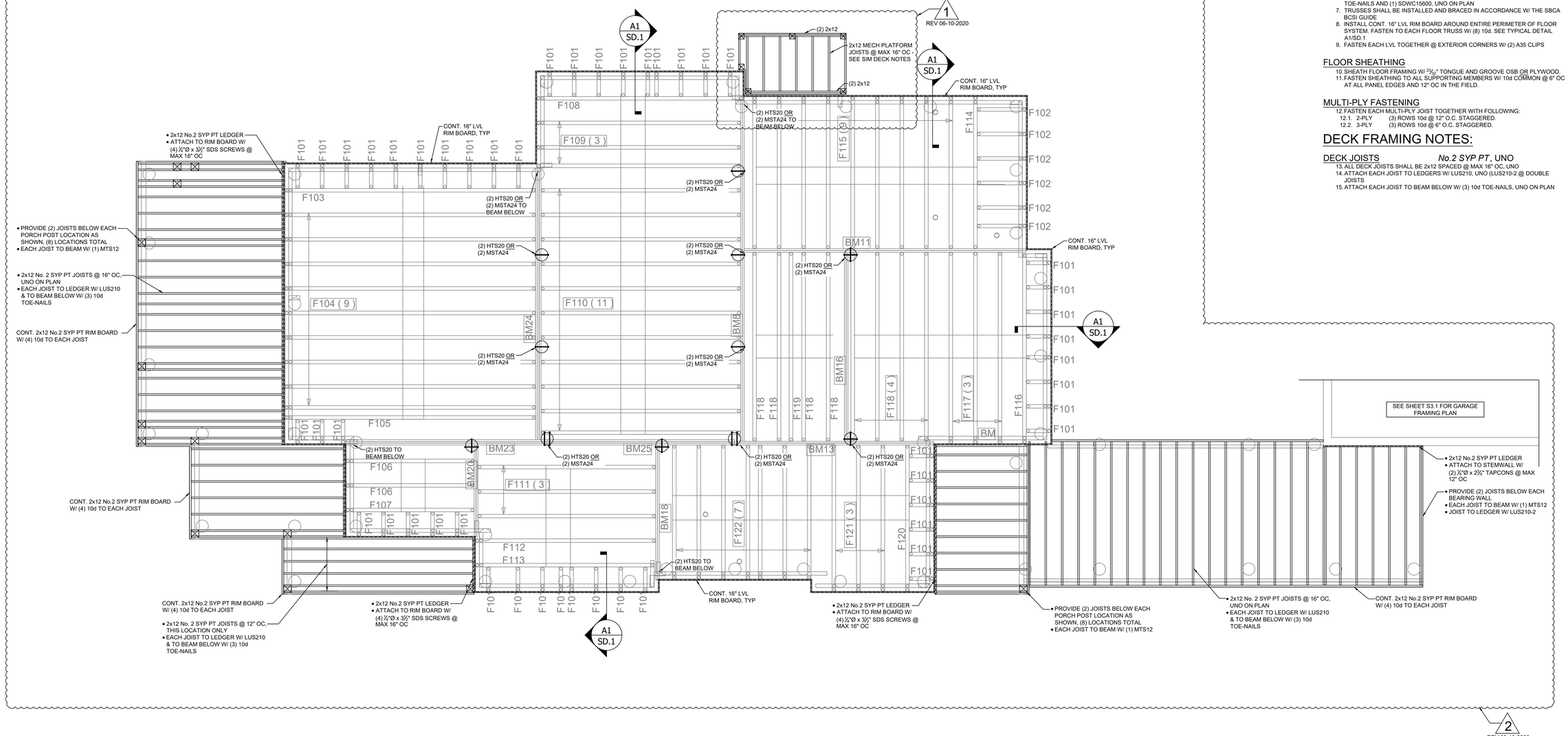
MULTI-PLY FASTENING

12. FASTEN EACH MULTI-PLY JOIST TOGETHER WITH FOLLOWING:
    - 12.1. 2-PLY (3) ROWS 10d @ 12" O.C. STAGGERED.
    - 12.2. 3-PLY (3) ROWS 10d @ 6" O.C. STAGGERED.

DECK FRAMING NOTES:

DECK JOISTS *No.2 SYP PT*, UNO

13. ALL DECK JOISTS SHALL BE 2x12 SPACED @ MAX 16" OC, UNO
14. ATTACH EACH JOIST TO LEDGERS W/ LUS210, UNO (LUS210-2 @ DOUBLE JOISTS
15. ATTACH EACH JOIST TO BEAM BELOW W/ (3) 10d TOE-NAILS, UNO ON PLAN



0.3 OFF-GRADE FLOOR FRAMING PLAN

Scale: 1/4"=1'-0"

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NASSAU COUNTY

PROJECT NUMBER 19-0600

SHEET NUMBER S0.3

SHEET NAME OFF-GRADE FLOOR PLAN

REVISIONS

DATE	DESCRIPTION
06-10-2020	1 ADD MECHANICAL PLATFORM
09-10-2020	2 ADD TIMBER PILE FOUNDATION

DESIGNED AKR

REVIEWED BDP

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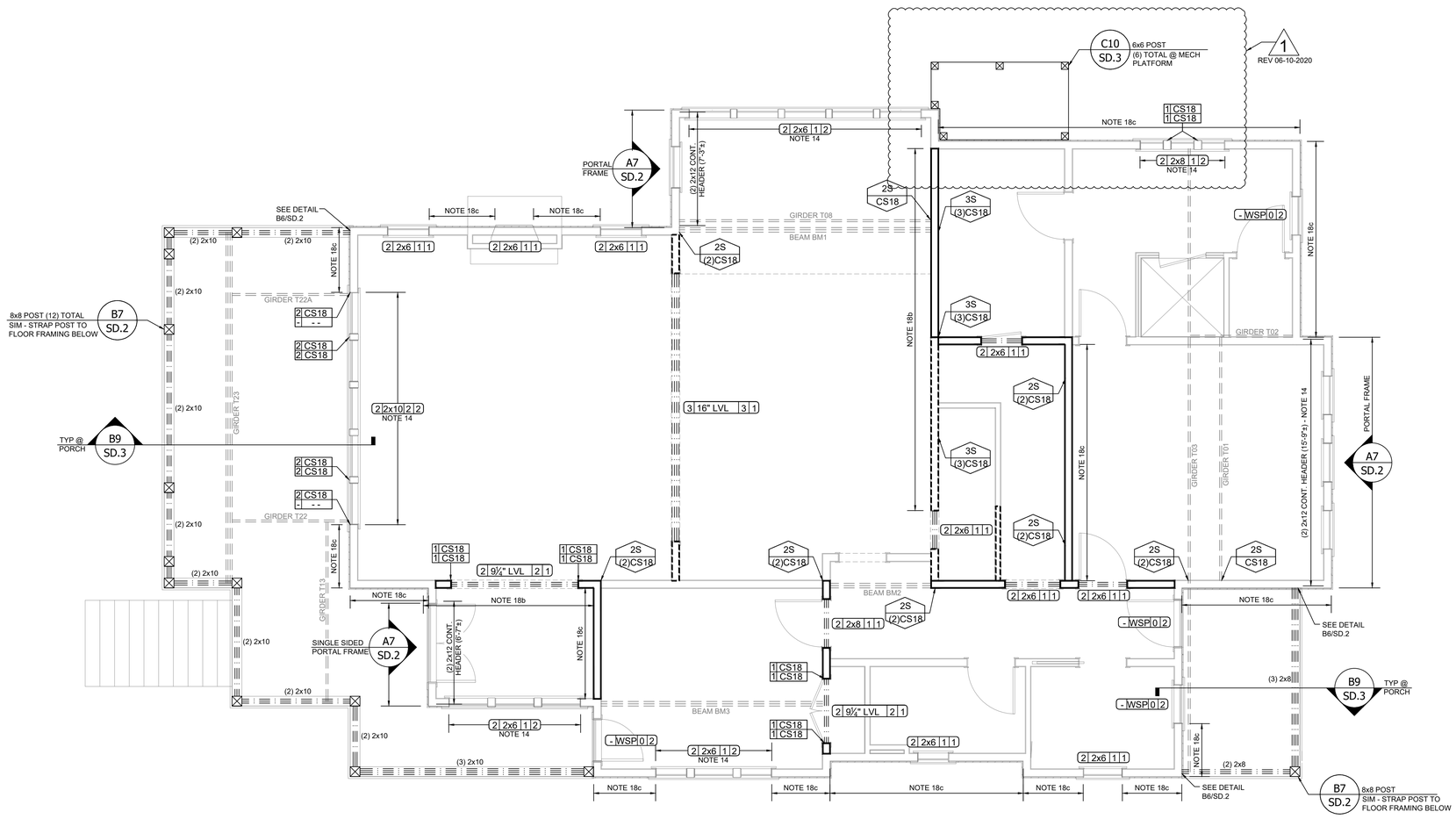
03-18-2020



1.0 1ST LEVEL FRAMING PLAN

Scale: 1/4"=1'-0"

FRAMING NOTES:

BOTTOM PLATE *No.2 SYP (PT @ 1ST LEVEL)*

1. 1ST LEVEL BOTTOM PLT TO BE ANCHORED TO SLAB W/ ⅝"Ø x 6" LONG TITEN HD OR ½"Ø A36 (36ksi) ATR EPOXY ANCHOR W/ NUT AND 3" SQUARE x 0.229" WASHER
2. ANCHORS TO BE INSTALLED EACH SIDE OF OPENING (MIN 6" FROM JACK/KING GROUP), WITHIN 12" OF THE PLT BREAK AND @ MAX 48" OC, SEE NOTE 18 FOR SHEARWALL ANCHOR SPACING
3. MIN (2) ANCHORS PER PLT SEGMENT
4. 2ND LEVEL BOTTOM PLT TO RIBBON BOARD/TOP CHORD BELOW W/ 10d @ 6" OC, SEE NOTE 18 FOR SHEARWALL NAIL SPACING

DOUBLE TOP PLATE *No.2 SYP*

5. ALL TOP PLATES TO BE DOUBLED - FASTEN TOP PLATES TOGETHER W/ (2) ROWS 10d @ MAX 12" OC STAGGERED
6. END JOINTS OF DBL TOP PLT TO BE OFFSET MIN 48" AND SPLICED TOGETHER W/ MIN (2) ROWS 10d @ 6" OC STAGGERED, MIN (16) 10d ALONG SPLICE
7. LAP ALL TOP PLT AT CORNERS OF EXTERIOR WALLS AND INTERSECTIONS WITH INTERIOR LOAD BRG WALLS, FASTEN PLATES TOGETHER AT LAP W/ (3) 10d FACE-NAILS

STUDS *No.2 SPF OR No.2 SYP*

8. FASTEN ALL STUDS TO TOP AND BOTTOM PLT W/ MIN (4) 10d TOE-NAILS OR (3) 10d FACE-NAILS
9. FASTEN ALL MULTI-STUD GROUPS TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED

WALL TYPE	MAX WALL HEIGHT	STUDS REQUIRED
EXTERIOR	9' 1-1/8"	2x6 @ 16" O.C.
	10' 1-1/8"	2x6 @ 16" O.C.
	12' 1-1/8"	2x6 @ 16" O.C.
INTERIOR LOAD BRG	ALL	2x_ @ MAX 16" OC
INTERIOR NON-LOAD BRG	ALL	2x_ @ MAX 24" OC

HEADER FRAMING *No.2 SYP, LSL, OR LVL*

10. SEE FRAMING PLAN FOR ALL HDR LOCATIONS, SIZING AND STRAPPING REQUIREMENTS. SEE HDR CALLOUT BELOW FOR ADDITIONAL INFORMATION
11. FASTEN ALL PLIES OF HDR TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED
12. FASTEN HEADER TO KING STUDS PER THE FOLLOWING:
    a. 2x4 OR 2x6 HEADER — (4) 10d TOE-NAILS OR FACE-NAILS
    b. 2x8 OR 2x10 HEADER — (6) 10d TOE-NAILS OR FACE-NAILS
    c. 2x12, LSL OR LVL HEADER — (8) 10d TOE-NAILS OR FACE-NAILS
13. SEE WSP HEADER DETAIL C4/SD.1 FOR INSTALLATION SPECIFICATIONS
14. MIN (2) JACK STUDS REQ BETWEEN OPENINGS, SEE DETAIL B4/SD.1 FOR INSTALLATION SPECIFICATIONS

PLANK HDR SIZE	MAX CLEAR SPAN
2x4	4' 6"
2x6	6' 8"
(2) 2x4	6' 5"
(2) 2x6	9' 5"

WALL SHEATHING

15. SHEATH ALL EXTERIOR WALLS W/ 7/16" 24/16 SPAN RATED OSB OR PLYWOOD. SHEATHING SHALL BE INSTALLED HORIZONTALLY OR VERTICALLY WITH 2x4 MIN SPF BLOCKING AT ALL HORIZONTAL PANEL EDGES
16. FASTEN SHEATHING TO WALL FRAMING W/ 8d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD, UNO ON PLAN
17. FASTEN SHEATHING TO EACH STUD OF MULTI-PLY STUD GROUP AND EACH KING STUD W/ 8d COMMON @ 12" OC
18. SPECIAL SHEARWALL SHEATHING: FASTEN MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD TO WALL FRAMING W/ 8d COMMON @ 3" OC AT ALL PANEL EDGES AND 12" O.C. IN THE FIELD, UNO ON PLAN. PROVIDE THE FOLLOWING BOTTOM PLT ANCHORAGE & CONNECTIONS @ EACH END OF SHEARWALL EXTENTS AS DENOTED ON FRAMING PLAN:

PLAN NOTE	LEVEL	NO. STUDS REQ. EACH END	HOLDDOWN/ STRAPPING	BOTTOM PLT ANCHOR/NAIL SPACING
NOTE 18a	ALL	2	(1) CS18	3" OC
NOTE 18b	ALL	2	(2) CS18	3" OC
NOTE 18c**	ALL	3	(3) CS18	3" OC

** WHERE NOTE 18c IS SHOWN ON PLAN @ EXTERIOR WALLS - STRAPPING @ EACH END OF SHEARWALL SHALL EXTEND THROUGH FLOOR SYSTEM AND FASTEN DIRECTLY TO SUPPORT BEAMS BELOW - SEE SHEET S0.2 FOR BEAM PLAN

LEGEND & SYMBOLS

- INTERIOR LOAD BRG WALL W/ UPLIFT
- INTERIOR LOAD BRG WALL W/O UPLIFT
- HDR/BEAM

HEADER CALLOUT

2 2x6 1 1
- No. OF HDR PLIES
- HDR SIZE
- No. OF JACK STUDS
- No. OF KING STUDS

STUD GROUP CALLOUT

2S
2 CS18
- No. OF STUDS REQ, MATCH WALL WIDTH UNO
- IF (★) SHOWN, (2) SDWC15600 REQ TOP PLT TO STUD
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ (IF MULTIPLE)

HEADER UPLIFT CONNECTION CALLOUT

1 CS18
1 DTT2Z
- No. OF HDR TO JACK STRAPS REQ
- TYPE OF STRAP REQ
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ

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CRANE ISLAND - LOT 78
FERNANDINA BEACH, FL
NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
S1.0

SHEET NAME
1st LEVEL FRAMING

REVISIONS

DATE	DESCRIPTION
06-10-2020	1 ADD MECHANICAL PLATFORM

DESIGNED
AKR

REVIEWED
BDP

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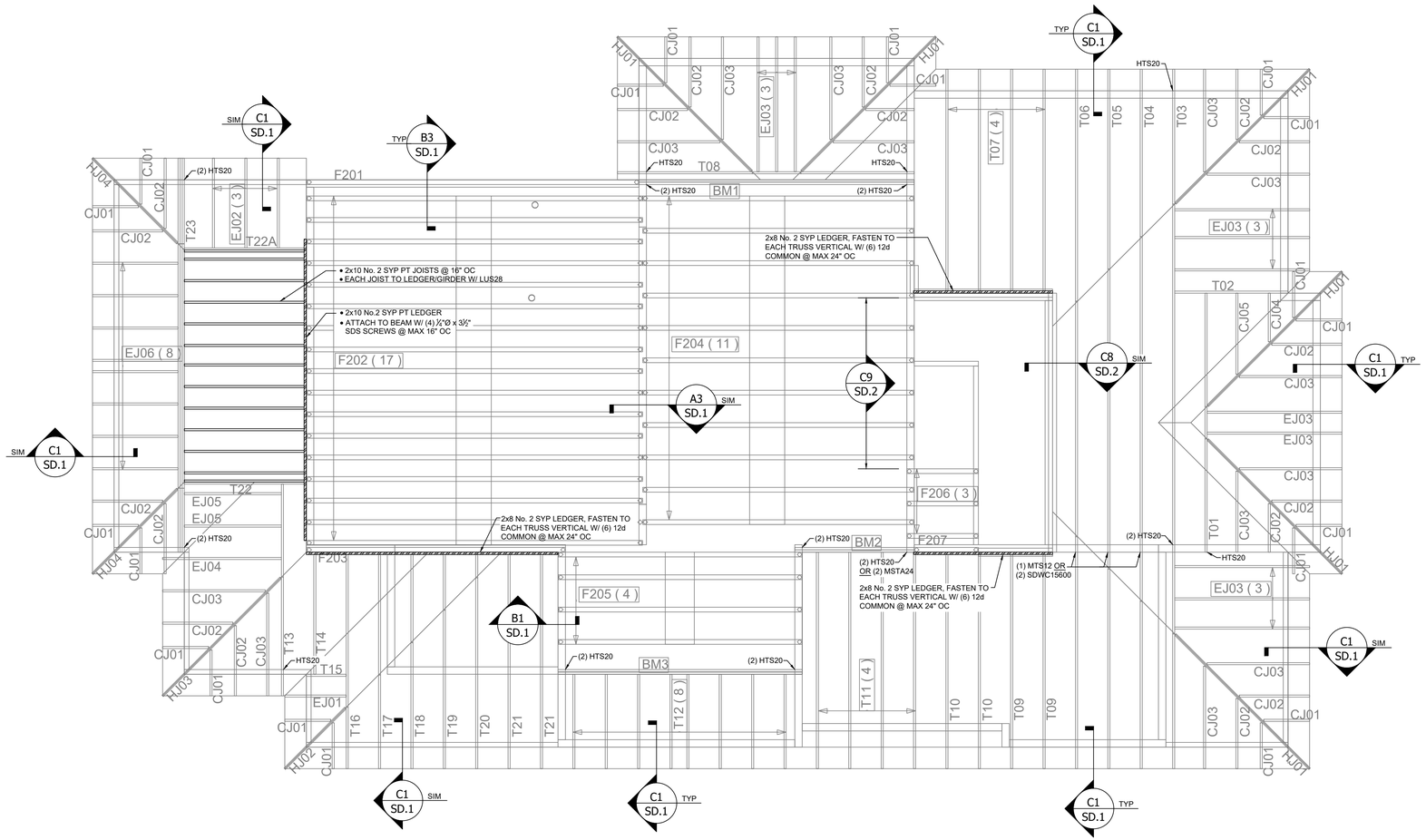

1.1 1ST LEVEL ROOF/FLOOR PLAN

Scale: 1/4"=1'-0"

TRUSS FRAMING NOTES:

ROOF TRUSSES

1. FASTEN ALL ROOF TRUSSES TO DBL TOP PLT/BEAM W/ (3) 10d TOE-NAILS
2. SEE TRUSS PLAN AND TYPICAL WALL SECTIONS, SHEET SD.1, FOR ALL ADDITIONAL UPLIFT CONNECTIONS REQ
3. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BCSI GUIDE

ROOF SHEATHING

4. SHEATH ROOF FRAMING PER THE FOLLOWING SPECIFICATIONS, SHEATHING SHALL BE INSTALLED W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS
   a. TILE & METAL: MIN 7/16" 32/16 SPAN RATED OSB OR PLYWOOD
   b. ALL OTHERS: MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD
5. FASTEN SHEATHING TO ROOF FRAMING W/ 8d RINGSHANK @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD
6. AT LOCATIONS WHERE ROOF IS ADJACENT TO WALL/FLOOR FRAMING, PROVIDE 2x_ NAILER SLOPED TO MATCH ROOF PITCH. FASTEN NAILER TO EACH VERTICAL WALL/FLOOR FRAMING MEMBER W/ (3) 10d @ MAX 24" OC, EDGE NAIL ROOF SHEATHING TO NAILER

FLOOR TRUSSES

7. FASTEN ALL FLOOR TRUSSES TO DBL TOP PLT W/ (3) 10d TOE-NAILS
8. SEE TRUSS PLAN AND TYPICAL DETAILS B1 TO B3 FOR ALL ADDITIONAL UPLIFT CONNECTIONS REQ
9. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BCSI GUIDE
10. WHERE TRUSSES BEAR PERPENDICULAR TO SUPPORTS INSTALL CONT. 2x_ No.2 SYP RIBBON BOARD AS SHOWN IN DETAIL B1/SD.1, ATTACH RIBBON BOARD TO EACH TRUSS W/ MIN (4) 10d FACE-NAILS
11. PROVIDE CRIPPLE STUDS/SQUASH BLOCKS WITHIN FLOOR SYSTEM BELOW UPPER LEVEL MULTI-PLY STUD GROUPS, STUD/BLOCK PLIES TO MATCH No. PLIES ABOVE.
12. PRE-MANUFACTURED SHEAR PANELS TO BE INSTALLED AS SHOWN IN TRUSS LAYOUT, FASTEN TO WALL DBL TO PLT BELOW AND FLOOR DECK FROM ABOVE W/ 10d @ 3" OC

FLOOR SHEATHING

13. SHEATH FLOOR FRAMING W/ 23/32" TONGUE AND GROOVE OSB OR PLYWOOD.
14. FASTEN SHEATHING TO ALL SUPPORTING MEMBERS W/ 10d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD.

BEAM FASTENING

15. FASTEN EACH BEAM PLY TOGETHER WITH FOLLOWING, UNO ON PLAN OR PER TRUSS MANUFACTURER'S SPECIFICATIONS:
    a. 2-PLY (3) ROWS 10d @ 12" O.C. STAGGERED.
    b. 3-PLY (3) ROWS 10d @ 6" O.C. STAGGERED.
    c. 4-PLY (2) ROWS ½" DIA.THRU BOLT W/ NUT AND WASHER @ 16" O.C. STAGGERED. PROVIDE 2" EDGE DISTANCE

OVERFRAMING NOTES

16. ALL RAFTERS TO BE MIN 2x6 No.2 SYP @ 24" OC. MAX.
17. ALL VALLEY NAILERS TO BE 2x8 No.2 SYP, FASTEN TO TRUSS TC W/ (3) 10d FACE-NAILS
18. EACH RAFTER TO NAILER W/ H3
19. EACH RAFTER TO RIDGE W/ (3) 10d TOE-NAILS
20. ALL RIDGE BOARDS TO BE ONE NOMINAL SIZE LARGER THAN RAFTER SIZE
21. FASTEN 2x4 No.2 SYP COLLAR TIES TO RAFTER W/ (5) 10d FACE-NAILS @ EACH END, LOCATE COLLAR TIE WITHIN UPPER THIRD OF RAFTER
22. SEE TABLES BELOW FOR ALLOWED RAFTER JOIST SPAN & SPACING

RAFTER SPAN TABLE				
RAFTER OC SPACING	LUMBER SIZE			
	2x6	2x8	2x10	2x12
12"	15'-7"	19'-8"	23'-5"	N/A
16"	13'-6"	17'-1"	20'-3"	23'-10"
24"	11'-0"	13'-11"	16'-6"	19'-6"
ALL RAFTERS TO BE No.2 SYP (LL=20PSF, DL=10PSF)				

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REVISIONS

DATE	DESCRIPTION

DESIGNED AKR

REVIEWED BDP

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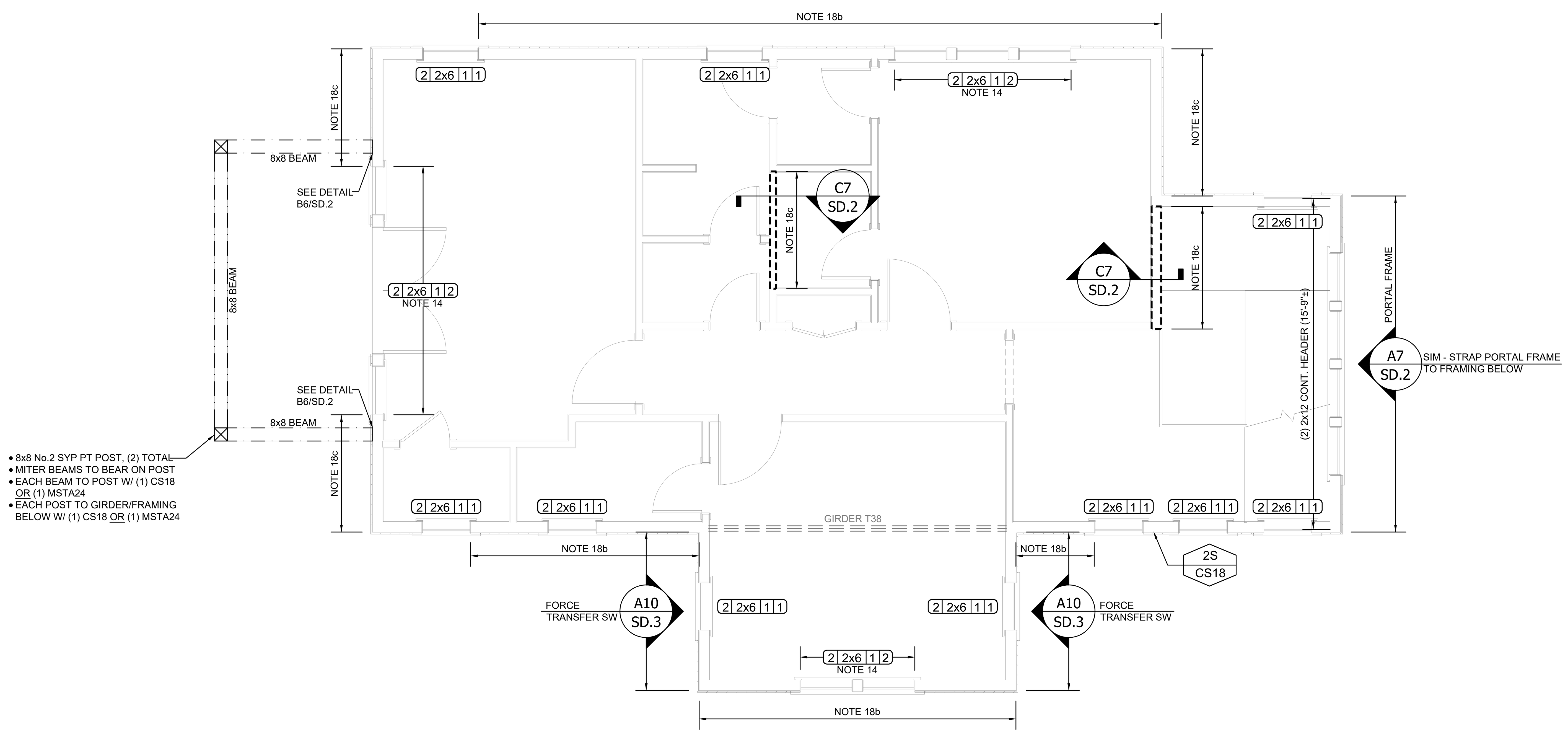

2.0 2ND LEVEL FRAMING PLAN

Scale: 1/4"=1'-0"

FRAMING NOTES:

BOTTOM PLATE — *No.2 SYP (PT @ 1ST LEVEL)*

1. 1ST LEVEL BOTTOM PLT TO BE ANCHORED TO SLAB W/ ½"Ø x 6" LONG TITEN HD OR ½"Ø A36 (36ksi) ATR EPOXY ANCHOR W/ NUT AND 3" SQUARE x 0.229" WASHER
2. ANCHORS TO BE INSTALLED EACH SIDE OF OPENING (MIN 6" FROM JACK/KING GROUP), WITHIN 12" OF THE PLT BREAK AND @ MAX 48" OC, SEE NOTE 18 FOR SHEARWALL ANCHOR SPACING
3. MIN (2) ANCHORS PER PLT SEGMENT
4. 2ND LEVEL BOTTOM PLT TO RIBBON BOARD/TOP CHORD BELOW W/ 10d @ 6" OC, SEE NOTE 18 FOR SHEARWALL NAIL SPACING

DOUBLE TOP PLATE — *No.2 SYP*

5. ALL TOP PLATES TO BE DOUBLED - FASTEN TOP PLATES TOGETHER W/ (2) ROWS 10d @ MAX 12" OC STAGGERED
6. END JOINTS OF DBL TOP PLT TO BE OFFSET MIN 48" AND SPLICED TOGETHER W/ MIN (2) ROWS 10d @ 6" OC STAGGERED, MIN (16) 10d ALONG SPLICE
7. LAP ALL TOP PLT AT CORNERS OF EXTERIOR WALLS AND INTERSECTIONS WITH INTERIOR LOAD BRG WALLS, FASTEN PLATES TOGETHER AT LAP W/ (3) 10d FACE-NAILS

STUDS — *No.2 SPF OR No.2 SYP*

8. FASTEN ALL STUDS TO TOP AND BOTTOM PLT W/ MIN (4) 10d TOE-NAILS OR (3) 10d FACE-NAILS
9. FASTEN ALL MULTI-STUD GROUPS TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED

WALL TYPE	MAX WALL HEIGHT	STUDS REQUIRED
EXTERIOR	9' 1-1/8"	2x6 @ 16" O.C.
	10' 1-1/8"	2x6 @ 16" O.C.
	12' 1-1/8"	2x6 @ 16" O.C.
INTERIOR LOAD BRG	ALL	2x_ @ MAX 16" OC
INTERIOR NON-LOAD BRG	ALL	2x_ @ MAX 24" OC

HEADER FRAMING — *No.2 SYP, LSL, OR LVL*

10. SEE FRAMING PLAN FOR ALL HDR LOCATIONS, SIZING AND STRAPPING REQUIREMENTS. SEE HDR CALLOUT BELOW FOR ADDITIONAL INFORMATION
11. FASTEN ALL PLIES OF HDR TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED
12. FASTEN HEADER TO KING STUDS PER THE FOLLOWING:
    a. 2x4 OR 2x6 HEADER — (4) 10d TOE-NAILS OR FACE-NAILS
    b. 2x8 OR 2x10 HEADER — (6) 10d TOE-NAILS OR FACE-NAILS
    c. 2x12, LSL OR LVL HEADER — (8) 10d TOE-NAILS OR FACE-NAILS
13. SEE WSP HEADER DETAIL C4/SD.1 FOR INSTALLATION SPECIFICATIONS
14. MIN (2) JACK STUDS REQ BETWEEN OPENINGS, SEE DETAIL B4/SD.1 FOR INSTALLATION SPECIFICATIONS

PLANK HDR SIZE	MAX CLEAR SPAN
2x4	4' 6"
2x6	6' 8"
(2) 2x4	6' 5"
(2) 2x6	9' 5"

WALL SHEATHING

15. SHEATH ALL EXTERIOR WALLS W/ 7/16" 24/16 SPAN RATED OSB OR PLYWOOD. SHEATHING SHALL BE INSTALLED HORIZONTALLY OR VERTICALLY WITH 2x4 MIN SPF BLOCKING AT ALL HORIZONTAL PANEL EDGES
16. FASTEN SHEATHING TO WALL FRAMING W/ 8d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD, UNO ON PLAN
17. FASTEN SHEATHING TO EACH STUD OF MULTI-PLY STUD GROUP AND EACH KING STUD W/ 8d COMMON @ 12" OC
18. SPECIAL SHEARWALL SHEATHING: FASTEN MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD TO WALL FRAMING W/ 8d COMMON @ 3" OC AT ALL PANEL EDGES AND 12" O.C. IN THE FIELD, UNO ON PLAN. PROVIDE THE FOLLOWING BOTTOM PLT ANCHORAGE & CONNECTIONS @ EACH END OF SHEARWALL EXTENTS AS DENOTED ON FRAMING PLAN:

PLAN NOTE	LEVEL	NO. STUDS REQ. EACH END	HOLDDOWN/ STRAPPING	BOTTOM PLT ANCHOR/NAIL SPACING
NOTE 18a	ALL	2	(1) CS18	3" OC
NOTE 18b	ALL	2	(2) CS18	3" OC
NOTE 18c**	ALL	3	(3) CS18	3" OC

** WHERE NOTE 18c IS SHOWN ON PLAN @ EXTERIOR WALLS - STRAPPING @ EACH END OF SHEARWALL SHALL EXTEND THROUGH FLOOR SYSTEM AND FASTEN DIRECTLY TO SUPPORT BEAMS BELOW - SEE SHEET S0.2 FOR BEAM PLAN

LEGEND & SYMBOLS

INTERIOR LOAD BRG WALL W/ UPLIFT

INTERIOR LOAD BRG WALL W/O UPLIFT

HDR/BEAM

HEADER CALLOUT

2 | 2x6 | 1 | 1

- No. OF HDR PLIES
- HDR SIZE
- No. OF JACK STUDS
- No. OF KING STUDS

STUD GROUP CALLOUT

2S★ / 2 CS18

- No. OF STUDS REQ, MATCH WALL WIDTH UNO
- IF (★) SHOWN, (2) SDWC15600 REQ TOP PLT TO STUD
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ (IF MULTIPLE)

HEADER UPLIFT CONNECTION CALLOUT

1 CS18 / 1 DTT2Z

- No. OF HDR TO JACK STRAPS REQ
- TYPE OF STRAP REQ
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ

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FERNANDINA BEACH, FL
NASSAU COUNTY

PROJECT NUMBER	19-0600
SHEET NUMBER	S2.0
SHEET NAME	2nd LEVEL FRAMING

REVISIONS

DATE	DESCRIPTION

DESIGNED
AKR
REVIEWED
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ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

TRUSS FRAMING NOTES:

ROOF TRUSSES

1. FASTEN ALL ROOF TRUSSES TO DBL TOP PLT/BEAM W/ (3) 10d TOE-NAILS
2. SEE TRUSS PLAN AND TYPICAL WALL SECTIONS, SHEET SD.1, FOR ALL ADDITIONAL UPLIFT CONNECTIONS REQ
3. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BCSI GUIDE

ROOF SHEATHING

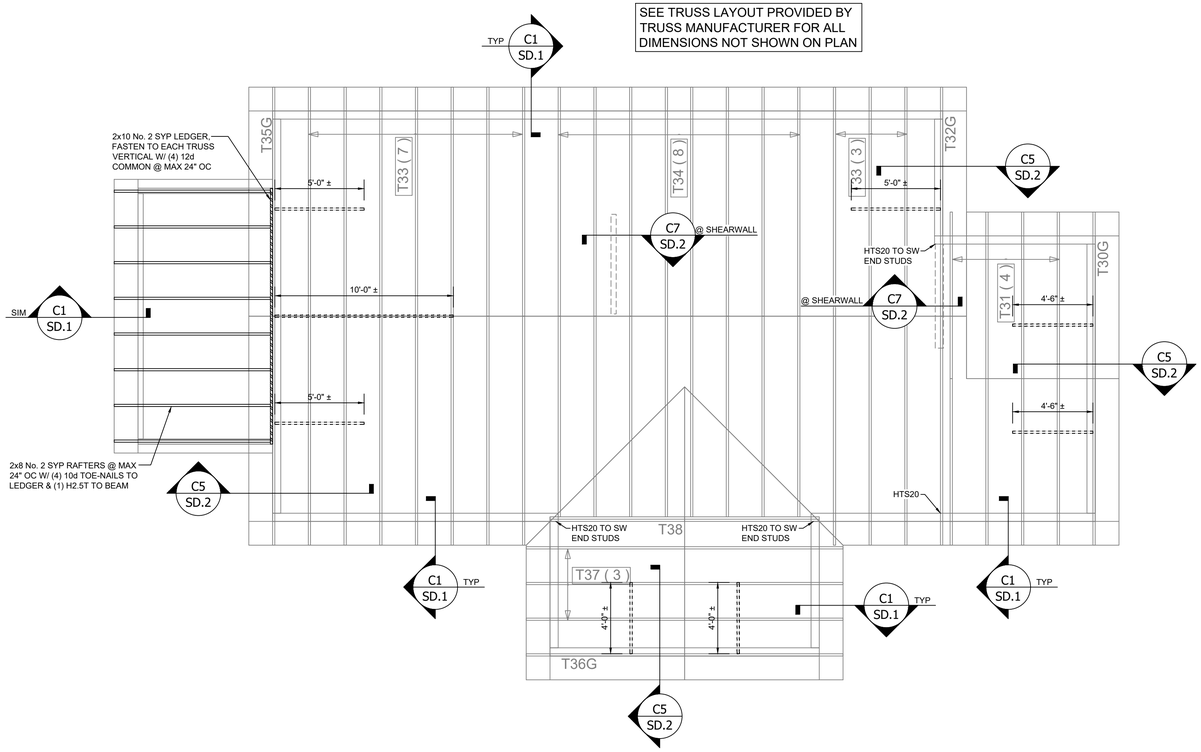
4. SHEATH ROOF FRAMING PER THE FOLLOWING SPECIFICATIONS, SHEATHING SHALL BE INSTALLED W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS
   a. TILE & METAL: MIN 7/16" 32/16 SPAN RATED OSB OR PLYWOOD
   b. ALL OTHERS: MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD
5. FASTEN SHEATHING TO ROOF FRAMING W/ 8d RINGSHANK @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD
6. AT LOCATIONS WHERE ROOF IS ADJACENT TO WALL/FLOOR FRAMING, PROVIDE 2x_ NAILER SLOPED TO MATCH ROOF PITCH. FASTEN NAILER TO EACH VERTICAL WALL/FLOOR FRAMING MEMBER W/ (3) 10d @ MAX 24" OC, EDGE NAIL ROOF SHEATHING TO NAILER

OVERFRAMING NOTES

7. ALL RAFTERS TO BE MIN 2x6 No.2 SYP @ 24" OC. MAX
8. ALL VALLEY NAILERS TO BE 2x8 No.2 SYP, FASTEN TO TRUSS TC W/ (3) 10d FACE-NAILS
9. EACH RAFTER TO NAILER W/ H3
10. EACH RAFTER TO RIDGE W/ (3) 10d TOE-NAILS
11. ALL RIDGE BOARDS TO BE ONE NOMINAL SIZE LARGER THAN RAFTER SIZE
12. FASTEN 2x4 No.2 SYP COLLAR TIES TO RAFTER W/ (5) 10d FACE-NAILS @ EACH END, LOCATE COLLAR TIE WITHIN UPPER THIRD OF RAFTER
13. SEE TABLE BELOW FOR ALLOWED RAFTER SPAN & SPACING

RAFTER SPAN TABLE				
RAFTER OC SPACING	LUMBER SIZE			
	2x6	2x8	2x10	2x12
12"	15'-7"	19'-8"	23'-5"	N/A
16"	13'-6"	17'-1"	20'-3"	23'-10"
24"	11'-0"	13'-11"	16'-6"	19'-6"
ALL RAFTERS TO BE No.2 SYP (LL=20PSF, DL=10PSF)				

SEE TRUSS LAYOUT PROVIDED BY TRUSS MANUFACTURER FOR ALL DIMENSIONS NOT SHOWN ON PLAN



2.1 2ND LEVEL ROOF PLAN
Scale: 1/4"=1'-0"

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SARAH ALICE RESIDENCE
CRANE ISLAND - LOT 78
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PROJECT NUMBER
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SHEET NAME
2nd LEVEL ROOF

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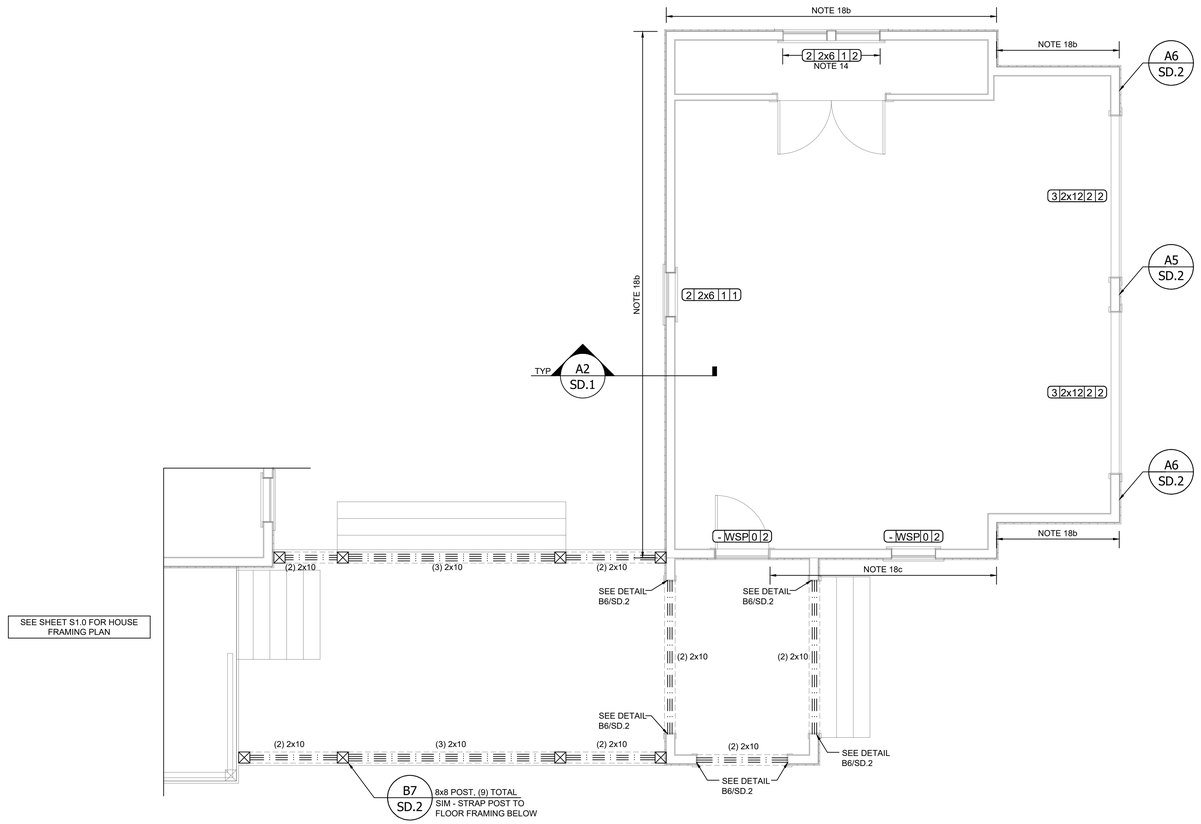

3.1 CARRIAGE HOUSE - 1ST LEVEL FRAMING PLAN

Scale: 1/4"=1'-0"

FRAMING NOTES:

BOTTOM PLATE *No.2 SYP (PT @ 1ST LEVEL)*

1. 1ST LEVEL BOTTOM PLT TO BE ANCHORED TO SLAB W/ ½"Ø x 6" LONG TITEN HD OR ½"Ø A36 (36ksi) ATR EPOXY ANCHOR W/ NUT AND 3" SQUARE x 0.229" WASHER
2. ANCHORS TO BE INSTALLED EACH SIDE OF OPENING (MIN 6" FROM JACK/KING GROUP), WITHIN 12" OF THE PLT BREAK AND @ MAX 48" OC, SEE NOTE 18 FOR SHEARWALL ANCHOR SPACING
3. MIN (2) ANCHORS PER PLT SEGMENT
4. 2ND LEVEL BOTTOM PLT TO RIBBON BOARD/TOP CHORD BELOW W/ 10d @ 6" OC, SEE NOTE 18 FOR SHEARWALL NAIL SPACING

DOUBLE TOP PLATE *No.2 SYP*

5. ALL TOP PLATES TO BE DOUBLED - FASTEN TOP PLATES TOGETHER W/ (2) ROWS 10d @ MAX 12" OC STAGGERED
6. END JOINTS OF DBL TOP PLT TO BE OFFSET MIN 48" AND SPLICED TOGETHER W/ MIN (2) ROWS 10d @ 6" OC STAGGERED, MIN (16) 10d ALONG SPLICE
7. LAP ALL TOP PLT AT CORNERS OF EXTERIOR WALLS AND INTERSECTIONS WITH INTERIOR LOAD BRG WALLS, FASTEN PLATES TOGETHER AT LAP W/ (3) 10d FACE-NAILS

STUDS *No.2 SPF OR No.2 SYP*

8. FASTEN ALL STUDS TO TOP AND BOTTOM PLT W/ MIN (4) 10d TOE-NAILS OR (3) 10d FACE-NAILS
9. FASTEN ALL MULTI-STUD GROUPS TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED

WALL TYPE	MAX WALL HEIGHT	STUDS REQUIRED
EXTERIOR	9' 1-1/8"	2x6 @ 16" O.C.
	10' 1-1/8"	2x6 @ 16" O.C.
	12' 1-1/8"	2x6 @ 16" O.C.
INTERIOR LOAD BRG	ALL	2x_ @ MAX 16" OC
INTERIOR NON-LOAD BRG	ALL	2x_ @ MAX 24" OC

HEADER FRAMING *No.2 SYP, LSL, OR LVL*

10. SEE FRAMING PLAN FOR ALL HDR LOCATIONS, SIZING AND STRAPPING REQUIREMENTS. SEE HDR CALLOUT BELOW FOR ADDITIONAL INFORMATION
11. FASTEN ALL PLIES OF HDR TOGETHER W/ (2) ROWS 10d @ 12" OC STAGGERED
12. FASTEN HEADER TO KING STUDS PER THE FOLLOWING:
    a. 2x4 OR 2x6 HEADER — (4) 10d TOE-NAILS OR FACE-NAILS
    b. 2x8 OR 2x10 HEADER — (6) 10d TOE-NAILS OR FACE-NAILS
    c. 2x12, LSL OR LVL HEADER — (8) 10d TOE-NAILS OR FACE-NAILS
13. SEE WSP HEADER DETAIL C4/SD.1 FOR INSTALLATION SPECIFICATIONS
14. MIN (2) JACK STUDS REQ BETWEEN OPENINGS, SEE DETAIL B4/SD.1 FOR INSTALLATION SPECIFICATIONS

PLANK HDR SIZE	MAX CLEAR SPAN
2x4	4' 6"
2x6	6' 8"
(2) 2x4	6' 5"
(2) 2x6	9' 5"

WALL SHEATHING

15. SHEATH ALL EXTERIOR WALLS W/ 7/16" 24/16 SPAN RATED OSB OR PLYWOOD. SHEATHING SHALL BE INSTALLED HORIZONTALLY OR VERTICALLY WITH 2x4 MIN SPF BLOCKING AT ALL HORIZONTAL PANEL EDGES
16. FASTEN SHEATHING TO WALL FRAMING W/ 8d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD, UNO ON PLAN
17. FASTEN SHEATHING TO EACH STUD OF MULTI-PLY STUD GROUP AND EACH KING STUD W/ 8d COMMON @ 12" OC
18. SPECIAL SHEARWALL SHEATHING: FASTEN MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD TO WALL FRAMING W/ 8d COMMON @ 6" OC AT ALL PANEL EDGES AND 12" O.C. IN THE FIELD, UNO ON PLAN. PROVIDE THE FOLLOWING BOTTOM PLT ANCHORAGE & CONNECTIONS @ EACH END OF SHEARWALL EXTENTS AS DENOTED ON FRAMING PLAN:

PLAN NOTE	LEVEL	NO. STUDS REQ. EACH END	HOLDDOWN/ STRAPPING	BOTTOM PLT ANCHOR/NAIL SPACING
NOTE 18a	1ST	2	DTT2Z	48" OC
	UPPER		(1) CS18	6" OC
NOTE 18b	1ST	2	HTT4	24" OC
	UPPER		(2) CS18	3" OC
NOTE 18c	1ST	3	HTT5	24" OC
	UPPER		(3) CS18	3" OC
NOTE 18d	1ST	3	HDQ8-SDS3	24" OC
	UPPER		N/A	N/A

LEGEND & SYMBOLS

- INTERIOR LOAD BRG WALL W/ UPLIFT
- INTERIOR LOAD BRG WALL W/O UPLIFT
- HDR/BEAM

HEADER CALLOUT

2 2x6 1 1
- No. OF HDR PLIES
- HDR SIZE
- No. OF JACK STUDS
- No. OF KING STUDS

STUD GROUP CALLOUT

2S★ / 2 CS18
- No. OF STUDS REQ, MATCH WALL WIDTH UNO
- IF (★) SHOWN, (2) SDWC15600 REQ TOP PLT TO STUD
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ (IF MULTIPLE)

HEADER UPLIFT CONNECTION CALLOUT

1 CS18 / 1 DTT2Z
- No. OF HDR TO JACK STRAPS REQ
- TYPE OF STRAP REQ
- HOLDDOWN/STRAP TO FRAMING BELOW
- No. OF HOLDDOWN/STRAPS REQ

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NASSAU COUNTY

PROJECT NUMBER 19-0600

SHEET NUMBER S3.1

SHEET NAME GARAGE 1ST LEVEL FRAMING

REVISIONS

DATE	DESCRIPTION

DESIGNED AKR

REVIEWED BDP

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TRUSS FRAMING NOTES:

ROOF TRUSSES

1. FASTEN ALL ROOF TRUSSES TO DBL TOP PLT/BEAM W/ (3) 10d TOE-NAILS
2. SEE TRUSS PLAN AND TYPICAL WALL SECTIONS, SHEET SD.1, FOR ALL ADDITIONAL UPLIFT CONNECTIONS REQ
3. TRUSSES SHALL BE INSTALLED AND BRACED IN ACCORDANCE W/ THE SBCA BCSI GUIDE

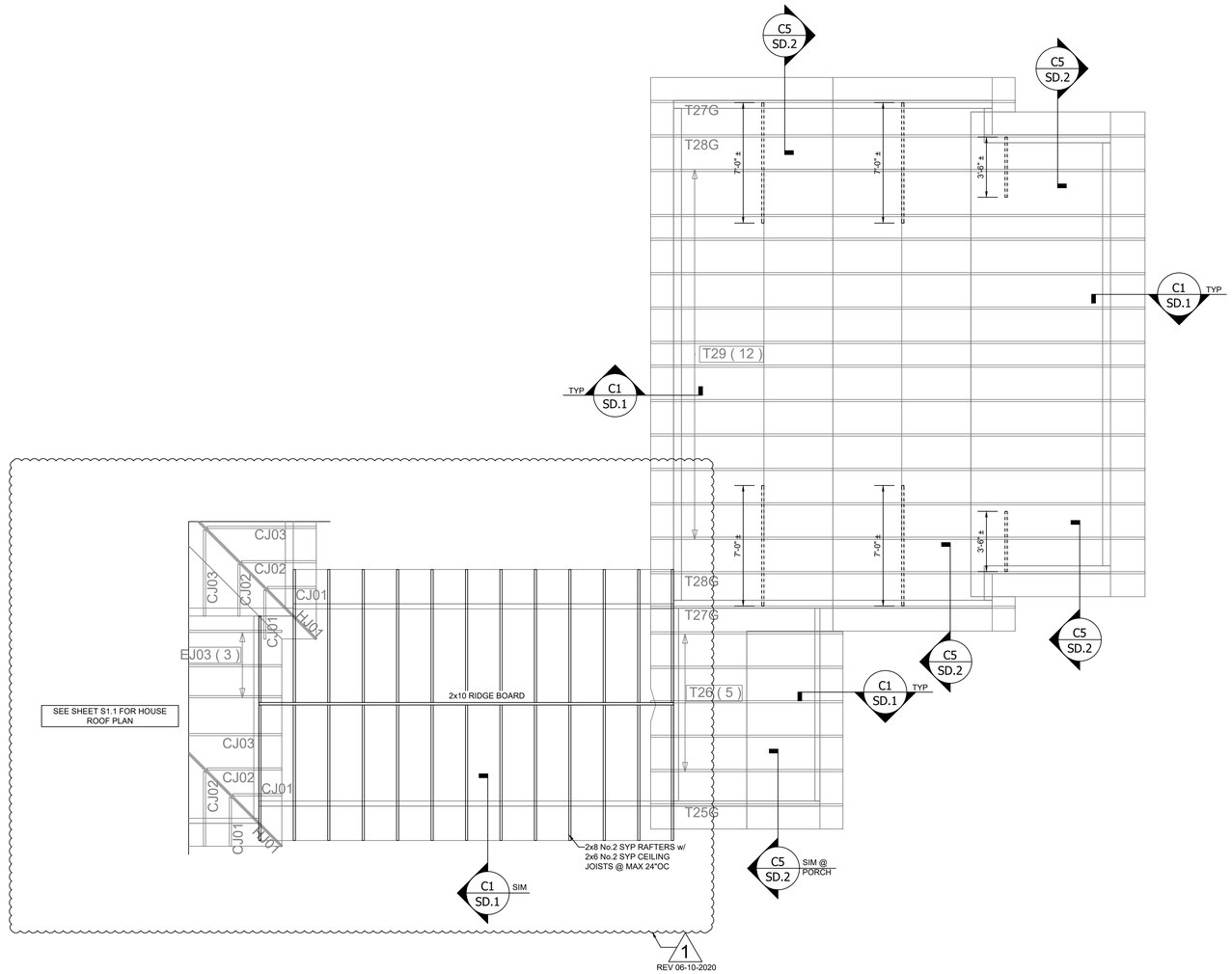
ROOF SHEATHING

4. SHEATH ROOF FRAMING PER THE FOLLOWING SPECIFICATIONS, SHEATHING SHALL BE INSTALLED W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS
   a. TILE & METAL: MIN 15/32" 32/16 SPAN RATED OSB OR PLYWOOD
   b. ALL OTHERS: MIN 7/16" 24/16 SPAN RATED OSB OR PLYWOOD
5. FASTEN SHEATHING TO ROOF FRAMING W/ 8d RINGSHANK @ 6" OC AT ALL PANEL EDGES AND 12" OC IN THE FIELD
6. AT LOCATIONS WHERE ROOF IS ADJACENT TO WALL/FLOOR FRAMING, PROVIDE 2x_ NAILER SLOPED TO MATCH ROOF PITCH. FASTEN NAILER TO EACH VERTICAL WALL/FLOOR FRAMING MEMBER W/ (3) 10d @ MAX 24" OC, EDGE NAIL ROOF SHEATHING TO NAILER

CONVENTIONAL FRAMING NOTES

7. ALL RAFTERS TO BE 2x8 No.2 SYP. SPACED @ MAX 24" OC, UNO
8. ALL CEILING JOISTS TO BE 2x6 No.2 SYP SPACED @ MAX 24" OC AND TO ALIGN W/ RAFTERS. FASTEN EACH CEILING JOIST TO RAFTERS ABOVE BEARING BEAM W/ (4) 10d FACE-NAILS
9. RIDGE BOARD TO BE 2x10 No.2 SYP
10. ATTACH EACH RAFTER TO RIDGE w/ (4) 10d TOE-NAILS
11. ATTACH EACH RAFTER TO BEAM W/ (3) 10d TOE-NAILS & (1) H2.5T
12. SHEATH ROOF PER ROOF SHEATHING NOTES THIS SHEET

1
REV 06-10-2020



3.2 GARAGE - 1ST LEVEL ROOF PLAN
Scale: 1/4"=1'-0"

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NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
S3.2

SHEET NAME
GARAGE ROOF PLAN

REVISIONS

DATE	DESCRIPTION
06-10-2020	1 REV. BREEZEWAY ROOF FRAMING

DESIGNED
AKR

REVIEWED
BDP

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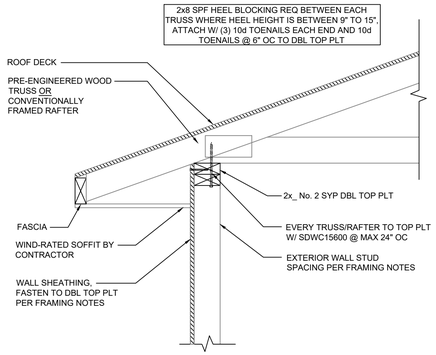
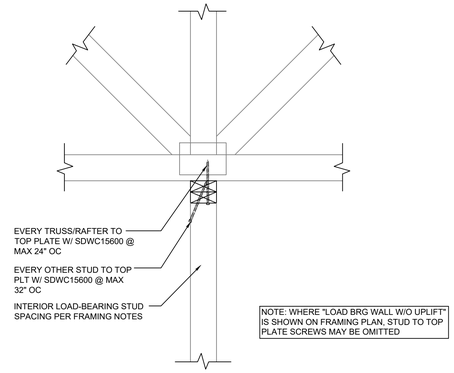
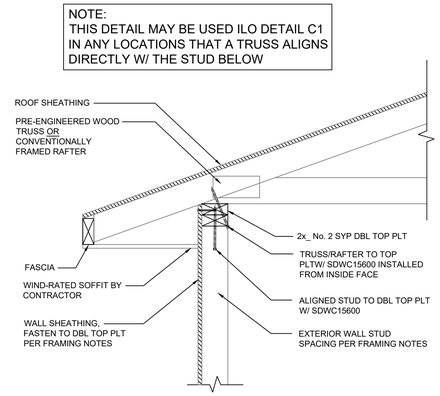
03-18-2020



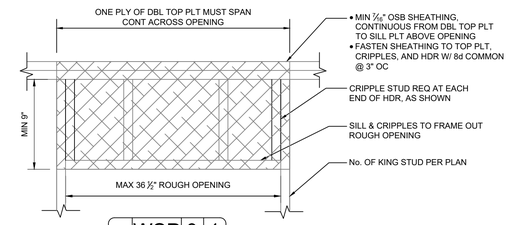
C1 TYPICAL EXTERIOR ROOF-TO-WALL



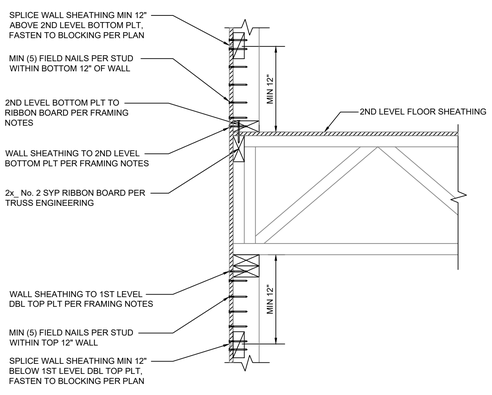
C2 TYPICAL INTERIOR LOAD-BEARING ROOF-TO-WALL



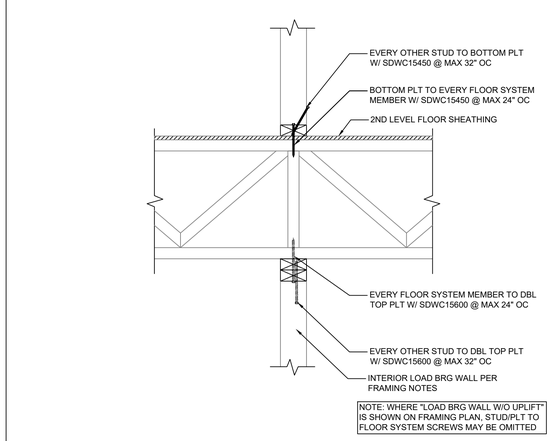
C3 ALTERNATE EXTERIOR ROOF TO WALL- TRUSS ALIGNED W/ STUD



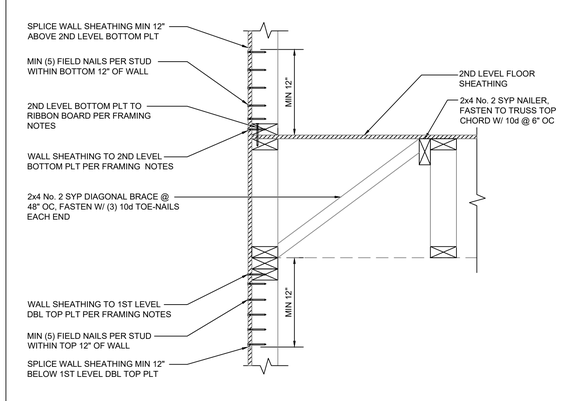
C4 WSP HEADER FRAMING ELEVATION



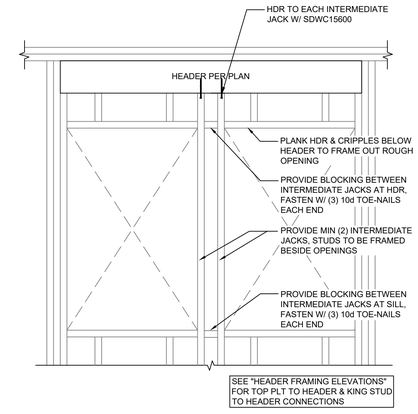
B1 TYPICAL EXTERIOR FLOOR SYSTEM- TRUSSES PERPENDICULAR



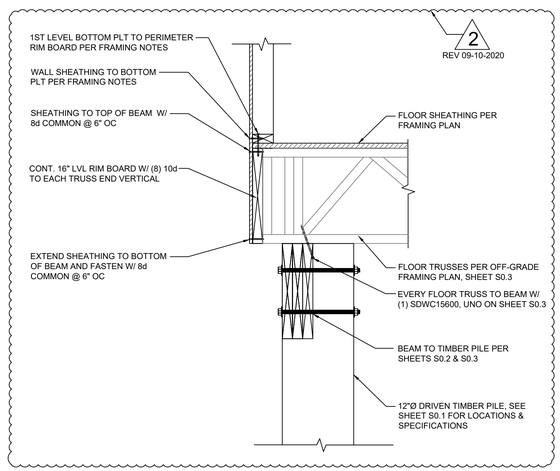
B2 TYPICAL INTERIOR LOAD-BEARING WALL AT FLOOR SYSTEM



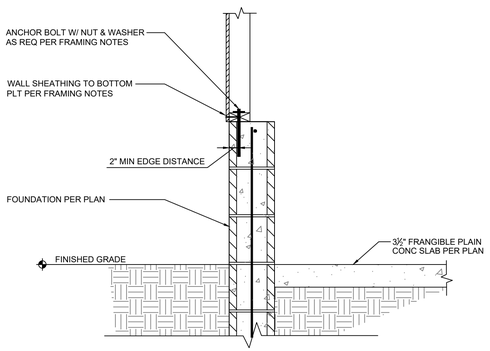
B3 TYPICAL EXTERIOR FLOOR SYSTEM- TRUSSES PARALLEL



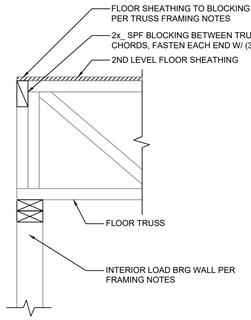
B4 INTERMEDIATE JACK STUDS AT HEADER



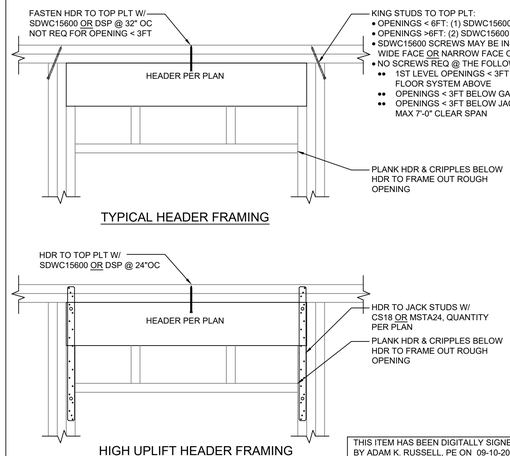
A1 HOUSE - TYPICAL EXTERIOR WALL AT TOP OF FOUNDATION



A2 GARAGE - TYPICAL EXTERIOR WALL AT TOP OF FOUNDATION



A3 INTERIOR LOAD-BEARING WALL AT FLOOR SYSTEM- NO UPLIFT



A4 HEADER FRAMING ELEVATIONS

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NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
SD.1

SHEET NAME
DETAILS

REVISIONS

DATE	DESCRIPTION
09-10-2020	2 ADD TIMBER PILE FOUNDATION

DESIGNED
AKR

REVIEWED
BDP

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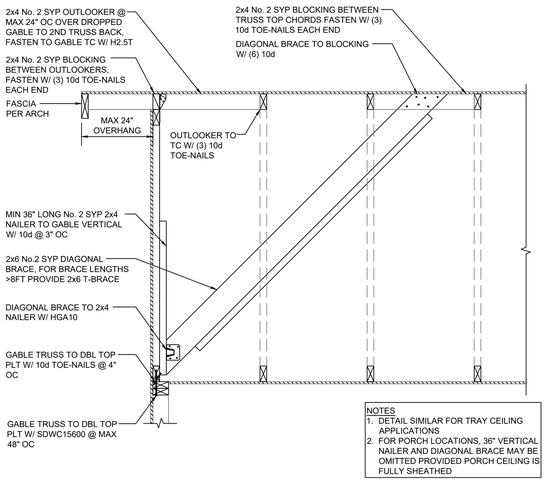
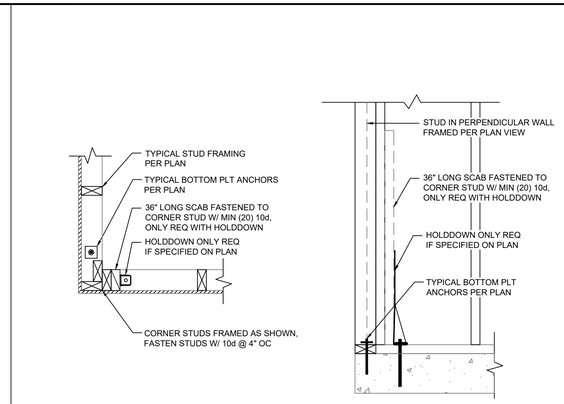
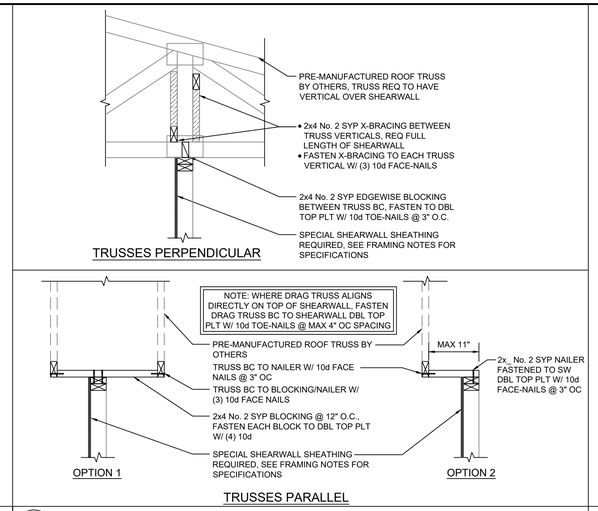


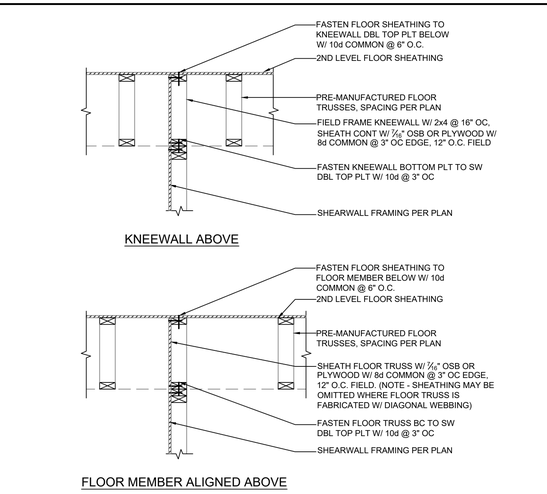
C5 GABLE ANGLE BRACING



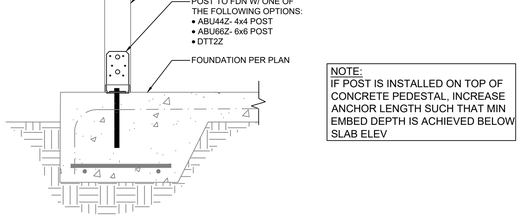
C6 CALIFORNIA CORNER DETAIL



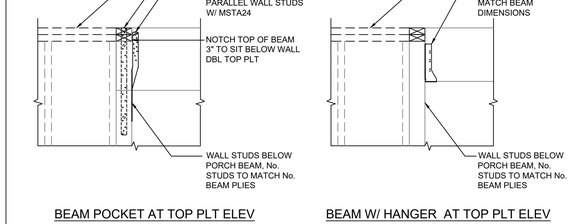
C7 INTERIOR SHEARWALL TO ROOF TRUSS



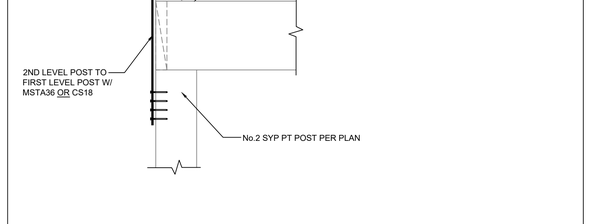
C8 INTERIOR SHEARWALL UNDER PARALLEL FLOOR SYSTEM



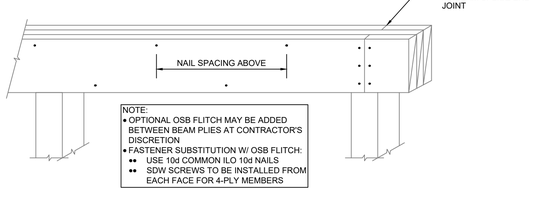
B5 TYPICAL CONNECTION AT PORCH BEAM



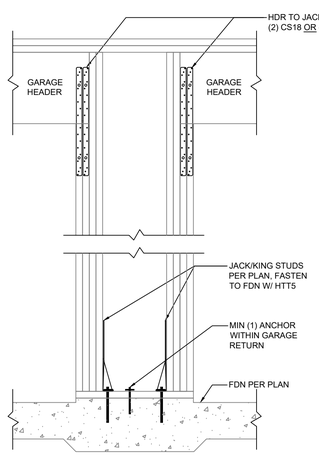
B6 PORCH BEAM TO WALL DETAILS



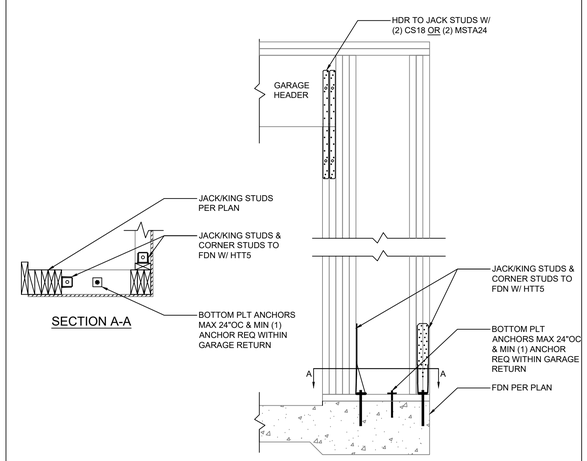
B7 TYPICAL CONNECTION AT 2ND LEVEL PORCH BEAM



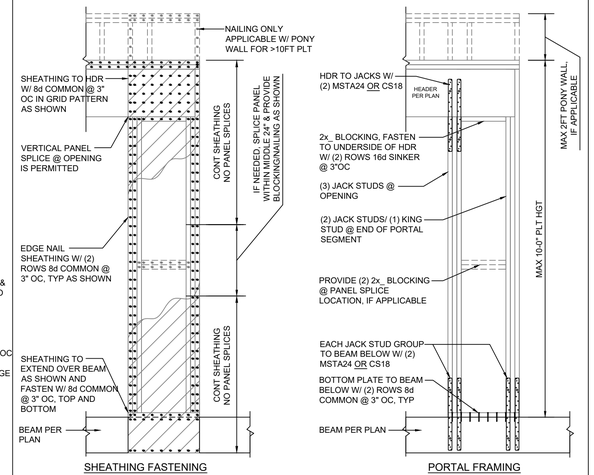
B8 MULTI-PLY BEAM/HDR CONNECTION (TOP-LOADED ONLY)



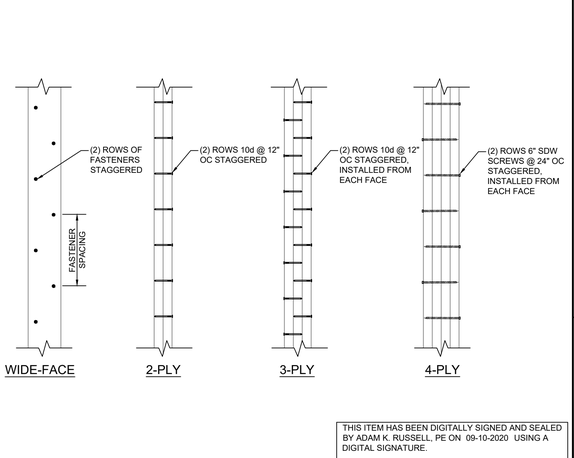
A5 GARAGE RETURN-CENTER W/ SHEAR



A6 GARAGE RETURN >1'-10" WIDE



A7 PORTAL FRAME ELEVATION W/ BEAM BELOW - TYPICAL AT EACH END WALL SEGMENT



A8 MULTI-PLY STUD CONNECTION

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C A M BRAD FORD HOMES

SARAH ALICE RESIDENCE
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NASSAU COUNTY

PROJECT NUMBER
19-0600

SHEET NUMBER
SD.2

SHEET NAME
DETAILS

REVISIONS

DATE	DESCRIPTION

DESIGNED
AKR

REVIEWED
BDP

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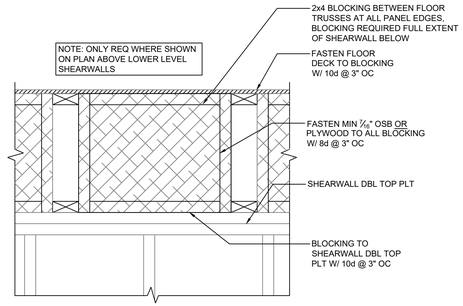
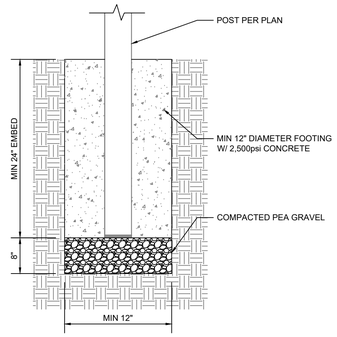
ADAM K. RUSSELL, PE
FL LICENSE NO. 77693
03-18-2020

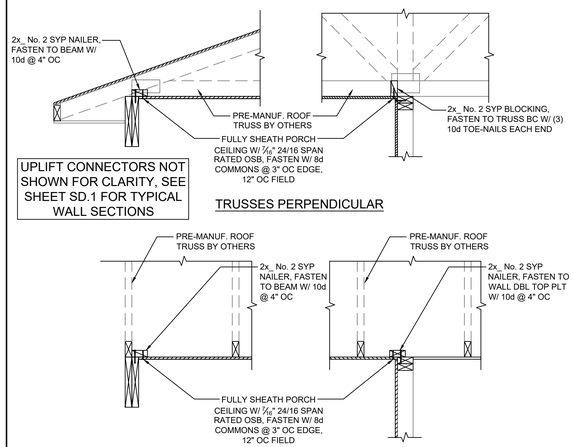


C9 FIELD FRAMED BLOCKING PANEL

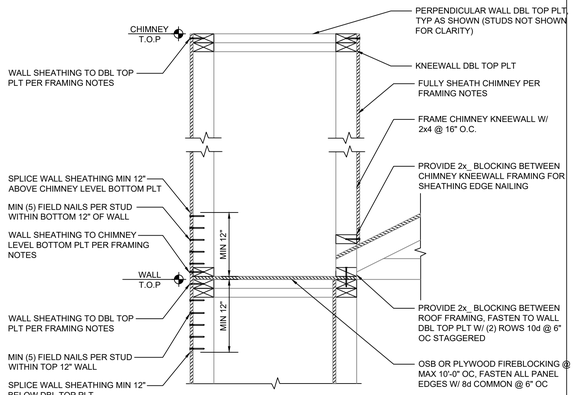


C10 EMBED POST SECTION

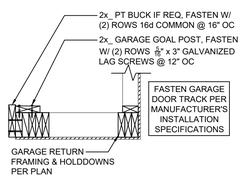
1 REV 06-10-2020



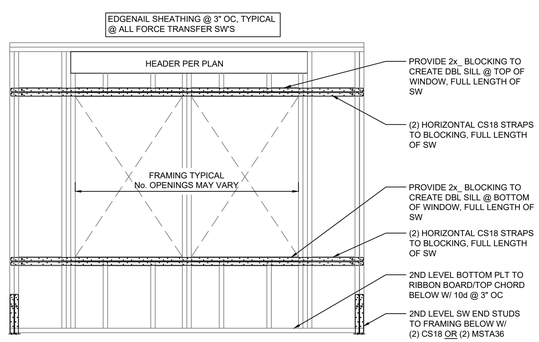
B9 PORCH SHEATHING @ ALL EXTERIOR PORCHES



B10 CHIMNEY FRAMING- AT EXTERIOR WALL



A9 GARAGE DOOR JAMB



A10 SPECIAL FORCE TRANSFER SW ELEVATION

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NASSAU COUNTY

PROJECT NUMBER 19-0600

SHEET NUMBER SD.3

SHEET NAME DETAILS

REVISIONS

DATE	DESCRIPTION
06-10-2020	1 ADDED DETAIL

DESIGNED AKR

REVIEWED BDP

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