

























MATERIAL LEGEND

SECTION / DETAIL		ELEVATION	
	RIGID INSULATION		STEEL
	BATT INSULATION		CONCRETE
	PLYWOOD		BRICK
	TILE		GLASS
	EARTH		STUCCO
	WOOD FRAMING		STONE
	FINISH WOOD		SHAKE SHINGLES
			ARCH. SHINGLES
	STEEL		
	CONCRETE		
	BRICK		
	C.M.U.		
	MORTAR / STUCCO		
	GRAVEL		
	WOOD BLOCKING		

INDEX TO DRAWINGS

A0.00	COVER SHEET	A3.05	DETAILS
A1.01	GROUND & FIRST FLOOR PLANS	E1.01	ELECTRICAL PLANS
A1.02	SECOND FLOOR & ROOF PLANS	E1.02	ELECTRICAL PLAN
A2.01	EXTERIOR ELEVATIONS		
A2.02	EXTERIOR ELEVATIONS		
A3.01	BUILDING SECTIONS		
A3.02	WALL SECTIONS & DETAILS		
A3.03	WALL SECTIONS & DETAILS		
A3.04	DETAILS		

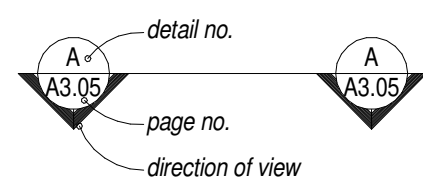
SQUARE FOOTAGE

CONDITIONED SPACE		UNCONDITIONED SPACE	
FIRST FLOOR	1519 SF	GROUND FLOOR	1382 SF
SECOND FLOOR	1511 SF	FIRST FLOOR PORCH	223 SF
GROUND FLOOR	280 SF	SECOND FLOOR PORCH	223 SF
	3309 SF		1829 SF

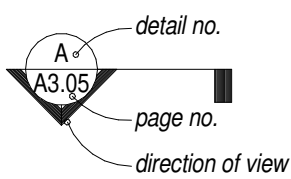
TOTAL SQUARE FOOTAGE

5,138 SF

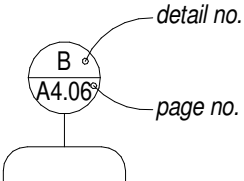
SYMBOL KEY



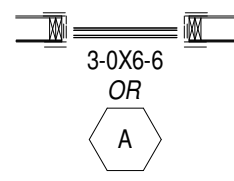
BUILDING SECTION CALLOUT



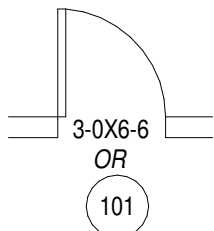
WALL SECTION CALLOUT



DETAIL CALLOUT



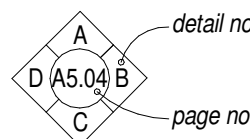
WINDOW CALLOUT
SASH SIZE OR
CORRESPONDING
WINDOW TYPE ON
WINDOW SCHEDULE



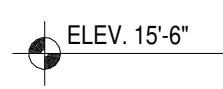
DOOR CALLOUT
DOOR SIZE OR
CORRESPONDING DOOR NO.
ON DOOR SCHEDULE



ROOM LABEL
CORRESPONDS TO
ROOM NO. ON FINISH
SCHEDULE



INTERIOR ELEVATION
CALLOUT



ELEVATION
CALLOUT

Crane Island - Lot 109
Fernandina Beach, Florida

COVER SHEET

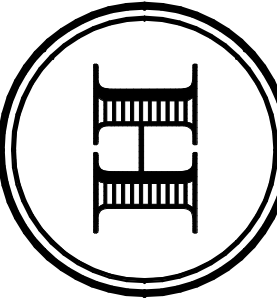
DRAWING BY	EAB	A0.00
DATE	02/14/22	
PROJECT NUMBER	Lot 109	



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FOUNDATION NOTES:

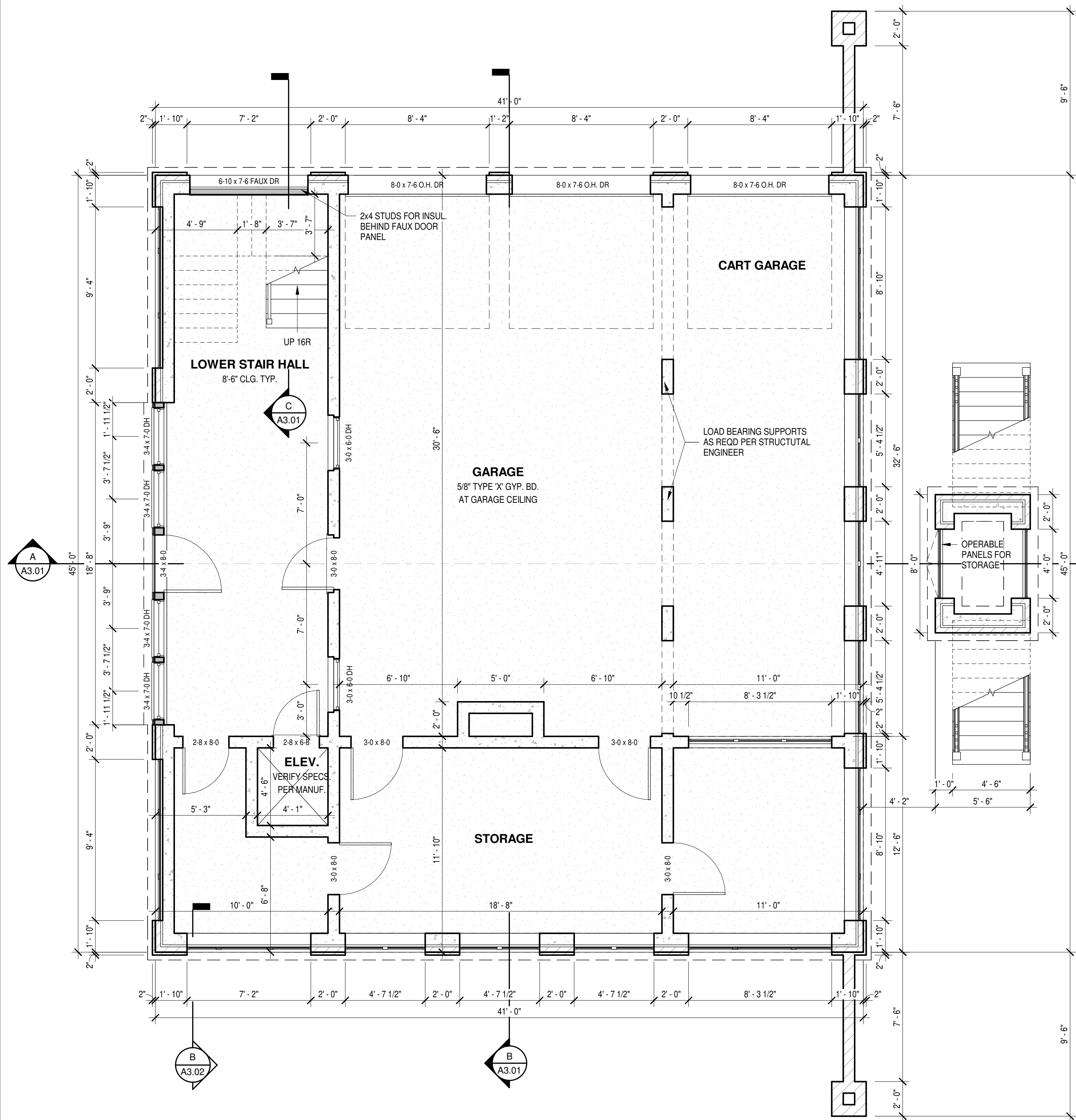
1. ALL CONSTRUCTION INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED STRUCTURAL ENGINEER (P.E.) REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, REINFORCEMENT, FOUNDATION WALLS, PIERS AND SLAB.
2. GENERAL CONTRACTOR SHALL INSPECT SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OR P.E. OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
3. GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS, (I.E., NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR, OR NUMBER OF STEPS BETWEEN THE GARAGE FLOOR TO THE FIRST FLOOR OF THE HOUSE).
4. INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS CONTINUOUS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.

5. ALL CONCRETE WORK SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.
6. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
7. ALL CONSTRUCTION ON FILL SOILS SHALL BE DESIGNED BY A P.E.
8. PROVIDE 12" MINIMUM COVER OVER FOOTING, UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH. FOOTINGS WILL BE BELOW THE LOCAL FROST LINE.
9. INSTALL "STEGO" 15 MIL VAPOR BELOW ALL FLOOR SLABS (WWW.STEGOINDUSTRIES.COM)

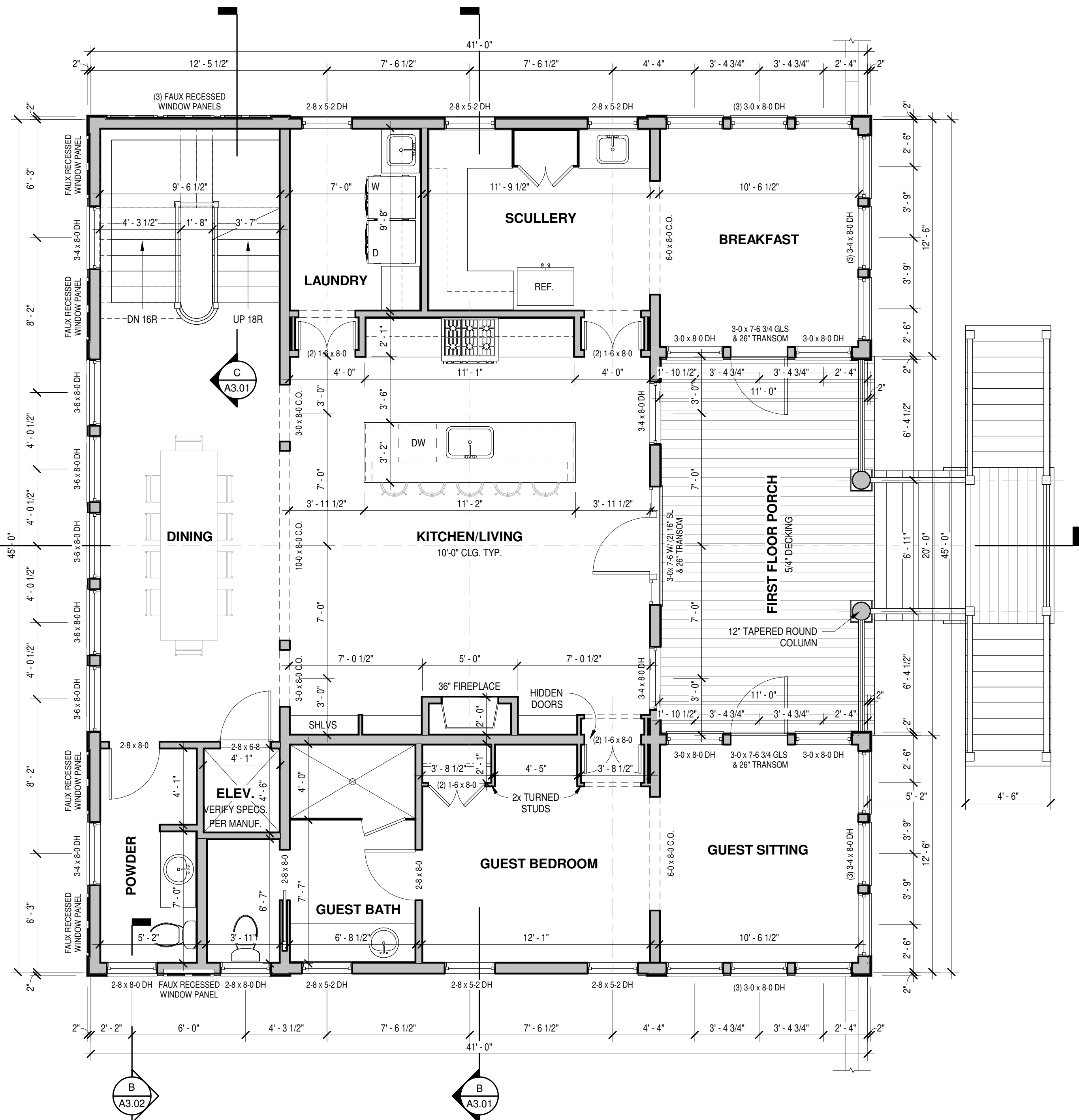
FRAMING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
2. ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL MEET OR EXCEED THE LATEST EDITION OF THE FLORIDA BUILDING CODE (FBC) AND/OR LOCAL BUILDING CODES.
3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL PROFESSIONAL ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN AND SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS JOISTS, BEAMS, GIRDERS, HEADERS, COLUMNS AND RAFTERS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SAID REVIEW OF A P.E.
4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATIONS AND DETAILS, AND ADVISE THE OWNER AND/OR ARCHITECT SHOULD ANY CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.
5. IF "ENGINEERED LUMBER" OR TRUSSES WILL BE USED, THEY WILL BE DESIGNED AND APPROVED BY A P.E. AND MANUFACTURED BY A TPI MEMBER.
6. INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.
7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
8. SHEATH ALL EXTERIOR WALLS WITH A NOMINAL 1/2" STRUCTURAL GRADE #2 PLYWOOD OR NOMINAL 1/2" OSB.
9. PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
10. STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR EQUAL, UNLESS OTHERWISE NOTED.
11. INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
12. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
13. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
14. INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.
15. ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.
16. STUD WALL SUPPORTING TWO FLOORS, CEILING AND ROOF LOADS SHALL BE 2 X 6 AT 16" O.C.; ALL OTHER WALLS TO BE 2 X 4 AT 16" O.C. UNLESS OTHERWISE NOTED. STUD WALLS UP TO 9' TALL TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS.

17. BALLOON FRAME ALL TWO-STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. IF TWO-STORY WALLS HAVE EXCESSIVE OPENINGS, USE VERTICAL STEEL FLITCH-PLATES AND/OR 2 X 6 FRAMING.
18. ALL HEADERS AND BEAMS TO BE SUPPORTED BY 2X5 EQUAL TO THE WIDTH OF THE BEAM OR SOLID COLUMNS AS SHOWN ON THE PLANS. SUPPORT IS TO BE CONTINUOUS TO THE FOUNDATION OR OTHER SUPPORT BELOW.
19. POCKET DOORS SHALL BE FULL SIZE SOLIDCORE DOORS HUNG ON HEAVY TRACK CENTERED IN A 2x6 WALL FRAMED W/ TIMBERSTRAND LUMBER.
20. TYPICAL HEADER TO BE (2) 2x12 W/ 1/2" PLYWOOD GLUED & NAILED, U.N.O.
21. WINDOWS AND DOORS ARE NOTED AS GENERIC SIZES, U.N.O. EGRESS SIZES AND OTHER CODE CRITERIA TO BE VERIFIED PER MANUFACTURER.



A
A1.01
GROUND FLOOR PLAN
1/4\" = 1'-0"



B
A1.01
FIRST FLOOR PLAN
1/4\" = 1'-0"



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Crane Island - Lot 109
Fernandina Beach, Florida

GROUND & FIRST
FLOOR PLANS

DRAWING BY	EAB
DATE	02/14/22
PROJECT NUMBER	Lot 109

A1.01

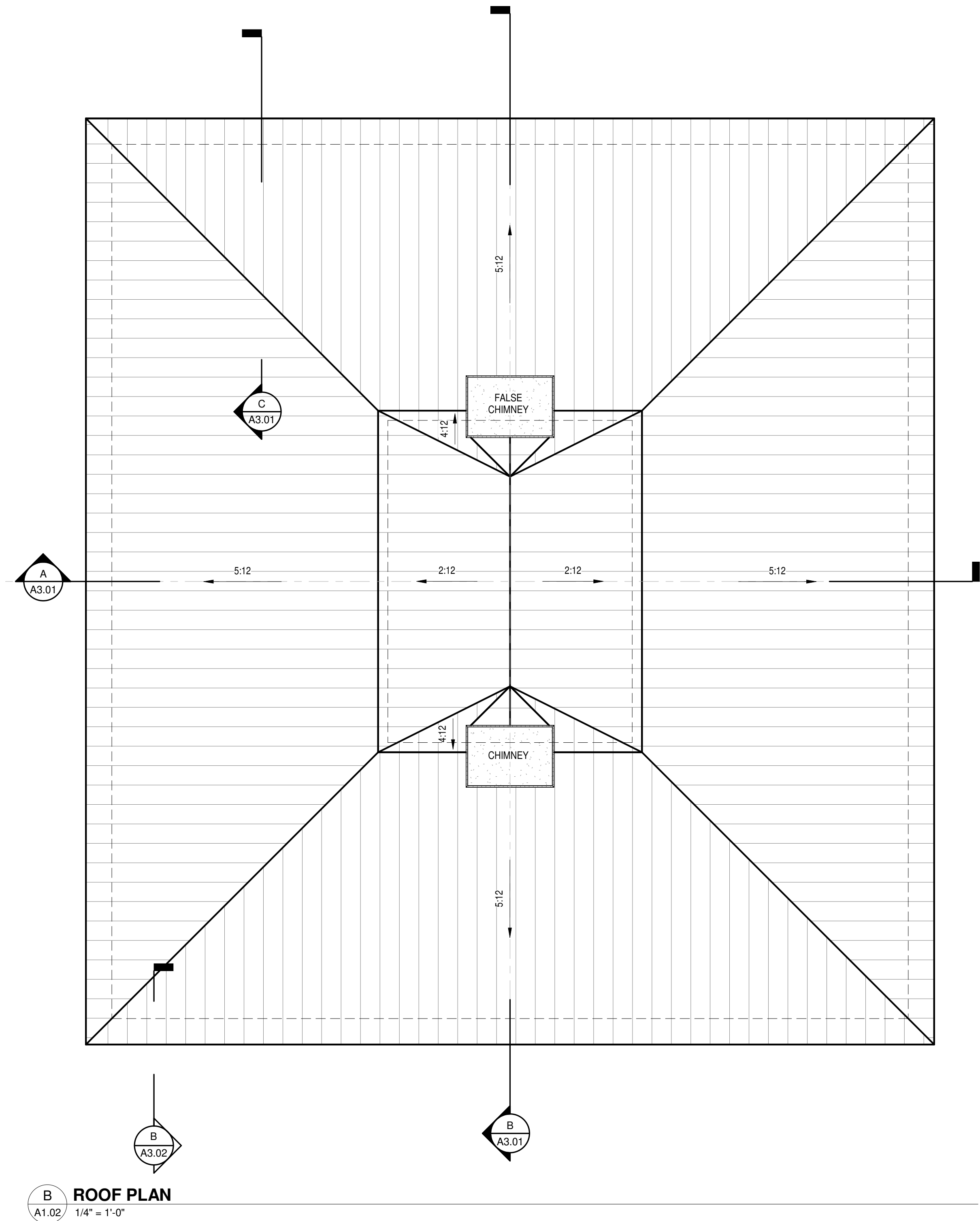
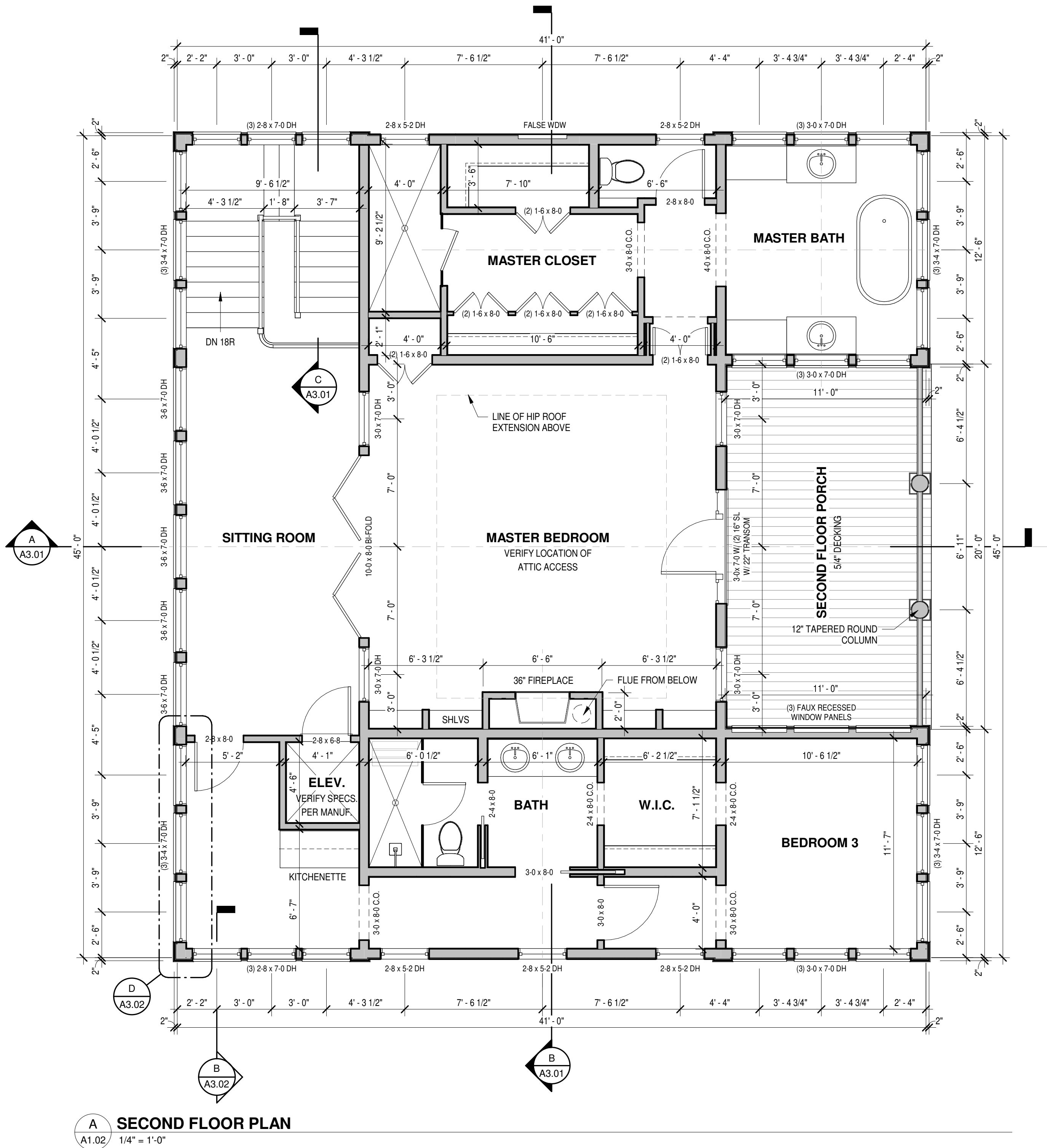
FRAMING NOTES:

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7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
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9. PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
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12. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
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21. WINDOWS AND DOORS ARE NOTED AS GENERIC SIZES. U.N.O. EGRESS SIZES AND OTHER CODE CRITERIA TO BE VERIFIED PER MANUFACTURER.

ROOF NOTES:

1. TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS: STANDING SEAM METAL ROOFING FELT / SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.
2. ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.
3. TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD". INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MINIMUM OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE, 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS, 3) 36" SHEET WIDTH AT VALLEYS, 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS, 5) ALL AROUND CHIMNEYS, SKYLIGHTS AND OTHER ROOF PENETRATIONS, 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH, 7) 36" SHEET AT ROOF PITCH TRANSITIONS, 8) OTHER AREAS AS REQUIRED BY CODE.
4. INSTALL CONTINUOUS W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER FLAT SOLDERED SEAMED COPPER WHERE METAL PANS ARE INDICATED. IF FIELD SEAMING IS PERFORMED PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.
5. INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MINIMUM 6" FLANGE ONTO ROOF SURFACE.
6. INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" V-CRIMP, 12" MINIMUM UP EACH SIDE OF VALLEYS
7. INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.
8. INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF / WALL INTERSECTIONS AND ALONG ROOF / CHIMNEY INTERSECTIONS.
9. CONFORM WITH "SMACNA" ARCHITECTURAL SHEET METAL MANUAL, 5TH ADDITION, 1993 WITH ADDENDUM NO. 1 OCTOBER 31, 1997 FOR ALL METAL ROOFING, FLASHING AND ROOF PENETRATION SYSTEMS.
10. RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINUOUSLY ALONG RIDGES.
11. INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.



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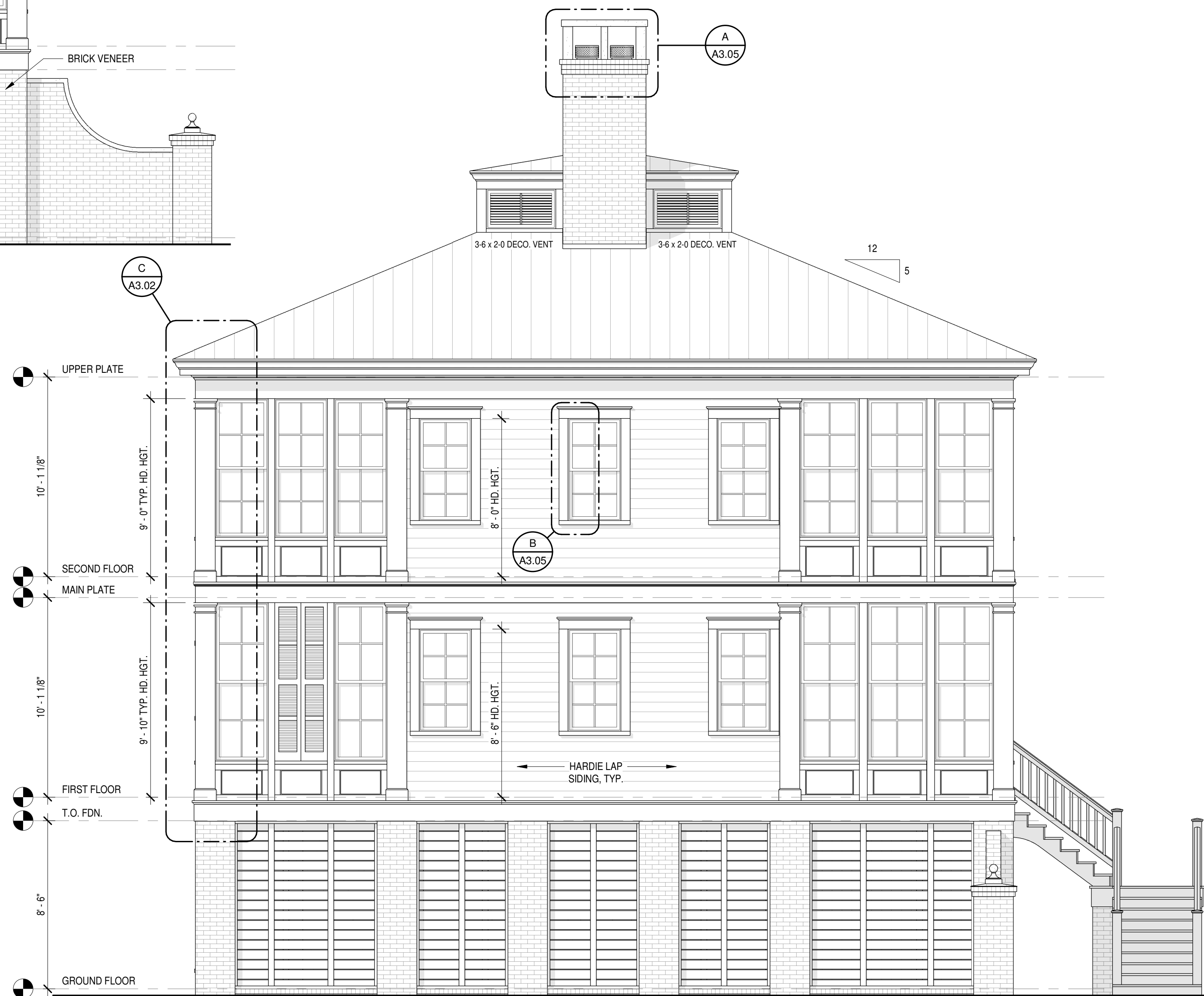
**SECOND FLOOR
& ROOF PLANS**

DRAWING BY	EAB
DATE	02/14/22
PROJECT NUMBER	Lot 109

A1.02



A FRONT ELEVATION
A2.01 1/4" = 1'-0"



B LEFT ELEVATION
A2.01 1/4" = 1'-0"

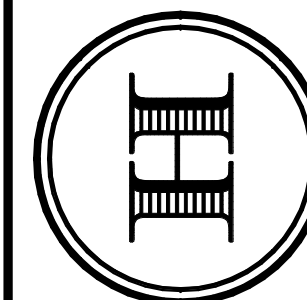


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EXTERIOR ELEVATIONS

DRAWING BY
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DATE
02/14/22
PROJECT NUMBER
Lot 109

A2.01



A REAR ELEVATION
1/4" = 1'-0"



B RIGHT ELEVATION
1/4" = 1'-0"

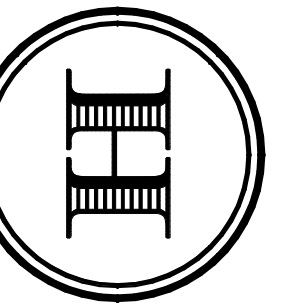


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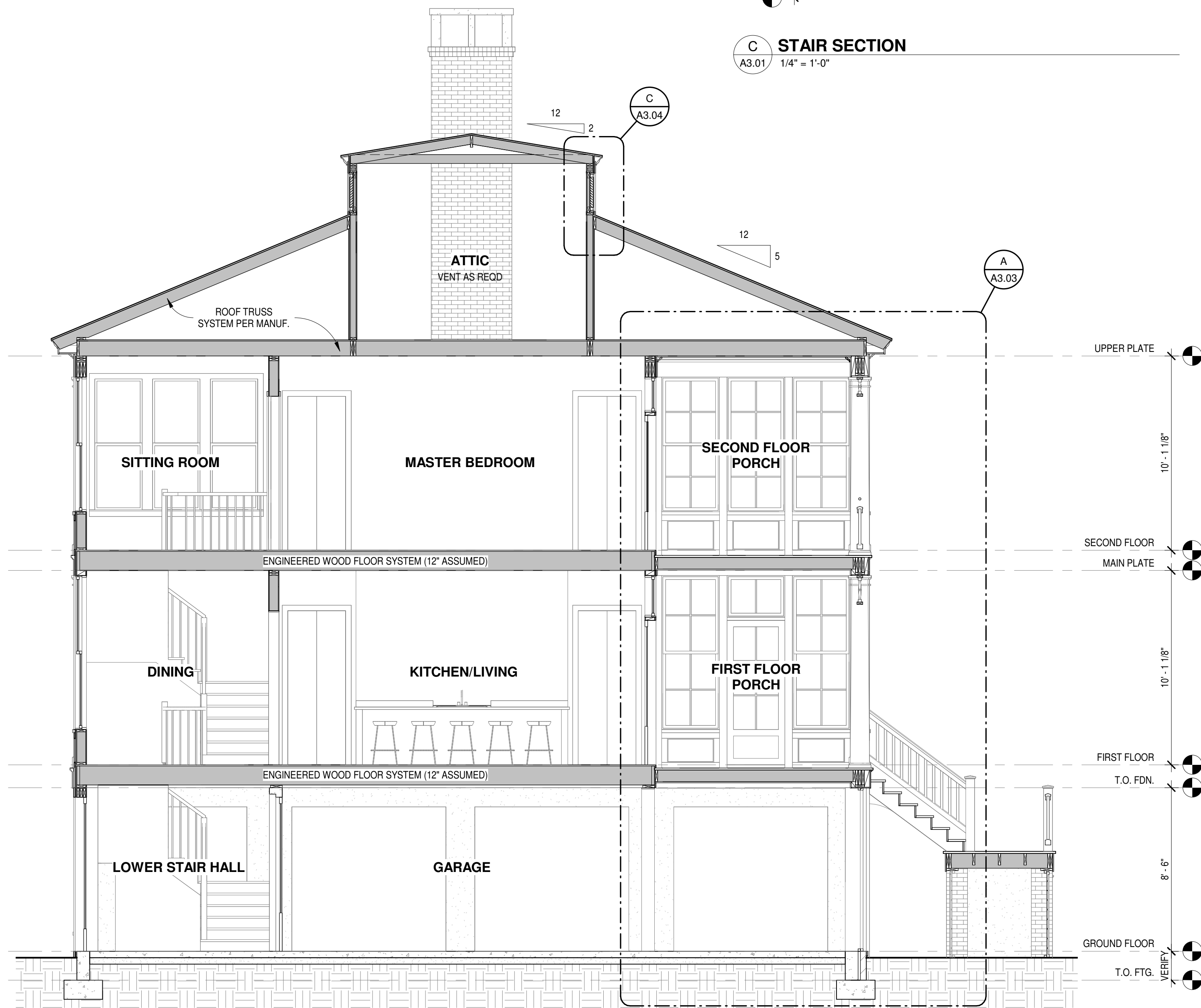
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Crane Island - Lot 109
Fernandina Beach, Florida

EXTERIOR ELEVATIONS

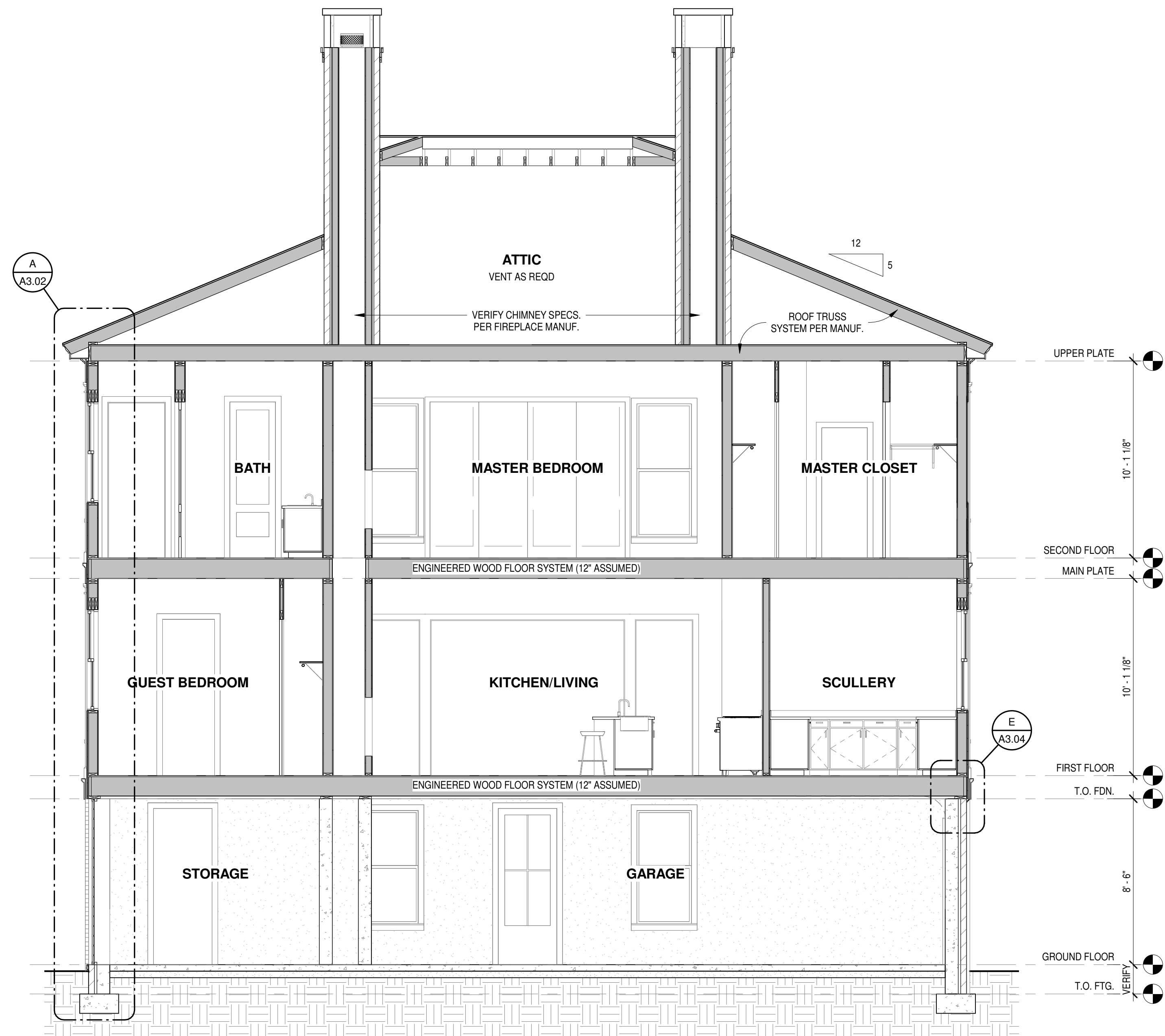
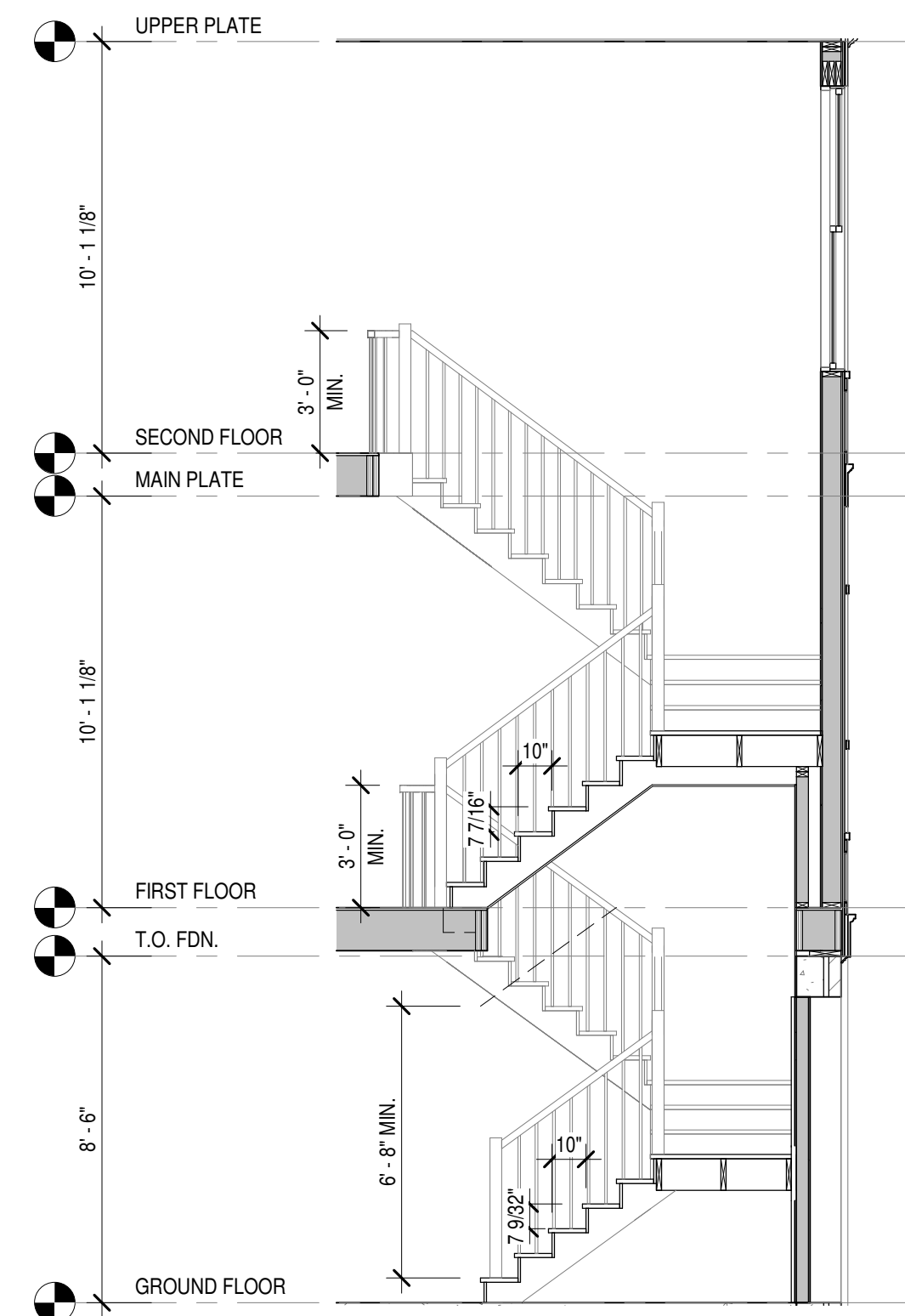
DRAWING BY
EAB
DATE
02/14/22
PROJECT NUMBER
Lot 109

A2.02



A TRANSVERSE BUILDING SECTION
A3.01 1/4" = 1'-0"

C STAIR SECTION
C A3.01 1/4" = 1'-0"



B LONGITUDINAL BUILDING SECTION
B A3.01 1/4" = 1'-0"

NOTE:
ANY ADJUSTMENTS TO THE FLOOR TRUSSES/FRAMING THAT WILL AFFECT EXTERIOR AESTHETICS NEEDS TO BE REVIEWED AND APPROVED BY THE DESIGN TEAM.

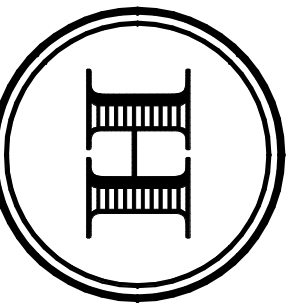


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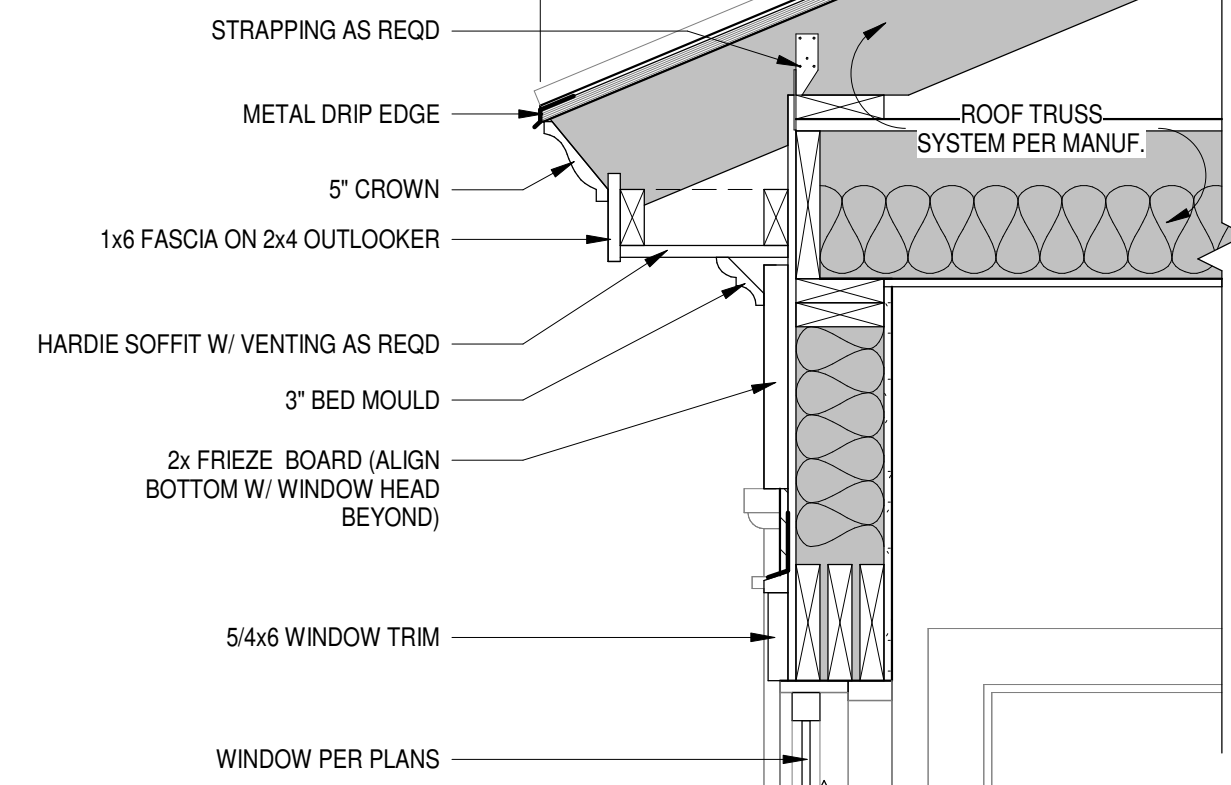
Crane Island - Lot 109
Fernandina Beach, Florida

BUILDING SECTIONS

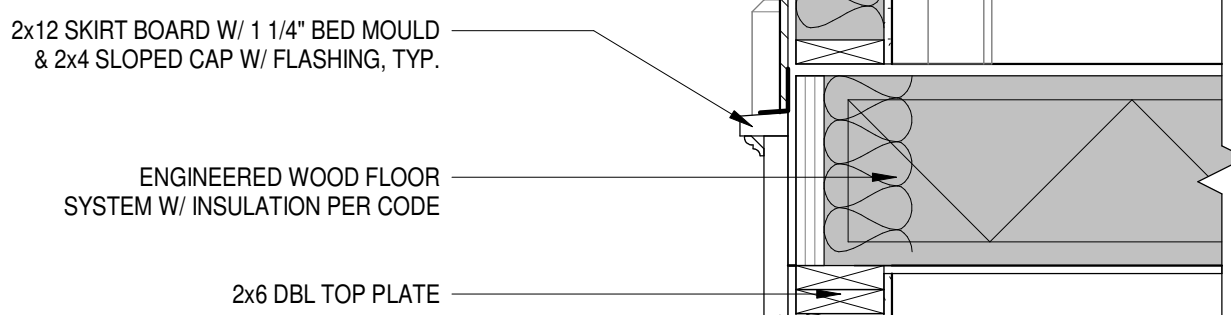
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02/14/22
PROJECT NUMBER
Lot 109

A3.01

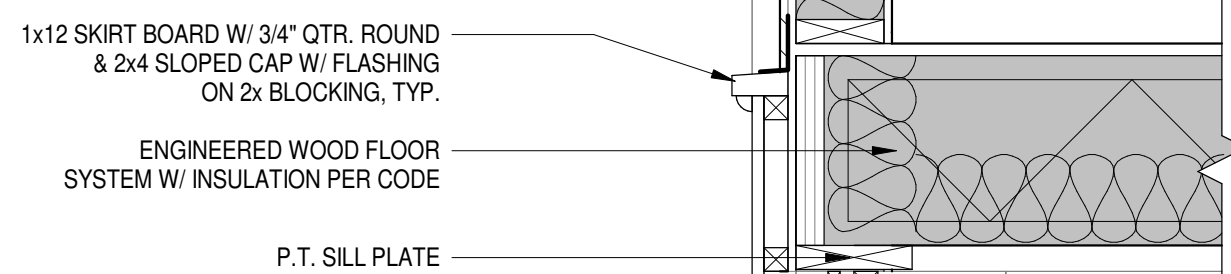
TYPICAL ROOF ASSEMBLY:
STANDING SEAM METAL ROOF W/ ICE &
WATER SHIELD ON #30 FELT
UNDERLAYMENT ON EXTERIOR GRADE
PLYWOOD SHEATHING W/ BATT
INSULATION PER CODE, TYP.



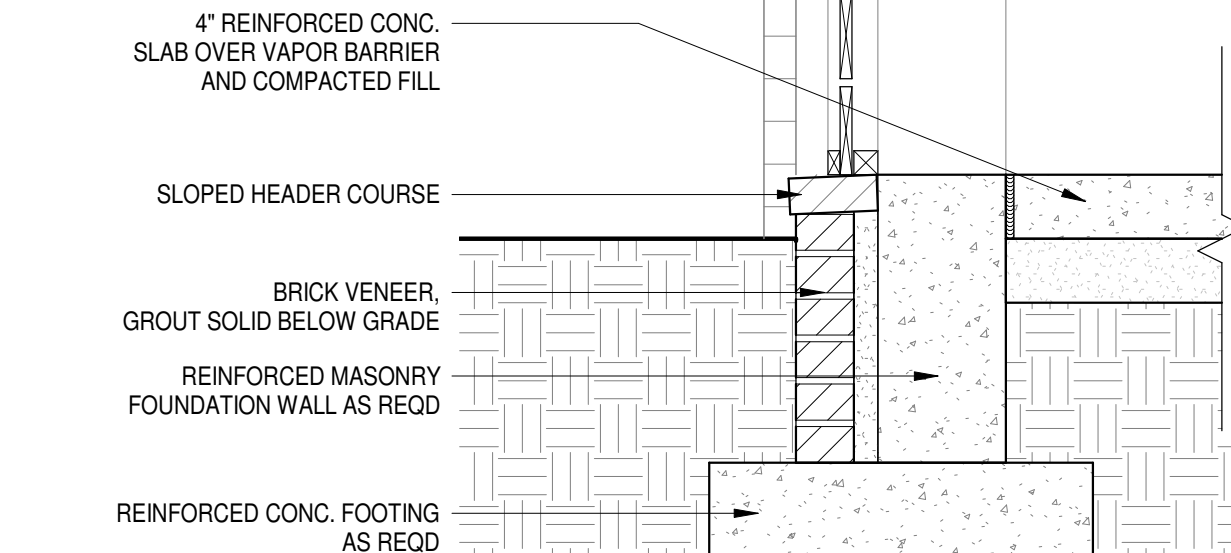
TYPICAL WALL ASSEMBLY:
HORIZ. LAP SIDING ON WEATHER
BARRIER, ON EXTERIOR GRADE
PLYWOOD SHEATHING, ON 2x6 FRAMING
W/ INSULATION PER LOCAL CODE, TYP.



TYPICAL WALL ASSEMBLY:
HORIZ. LAP SIDING ON WEATHER
BARRIER, ON EXTERIOR GRADE
PLYWOOD SHEATHING, ON 2x6 FRAMING
W/ INSULATION PER LOCAL CODE, TYP.

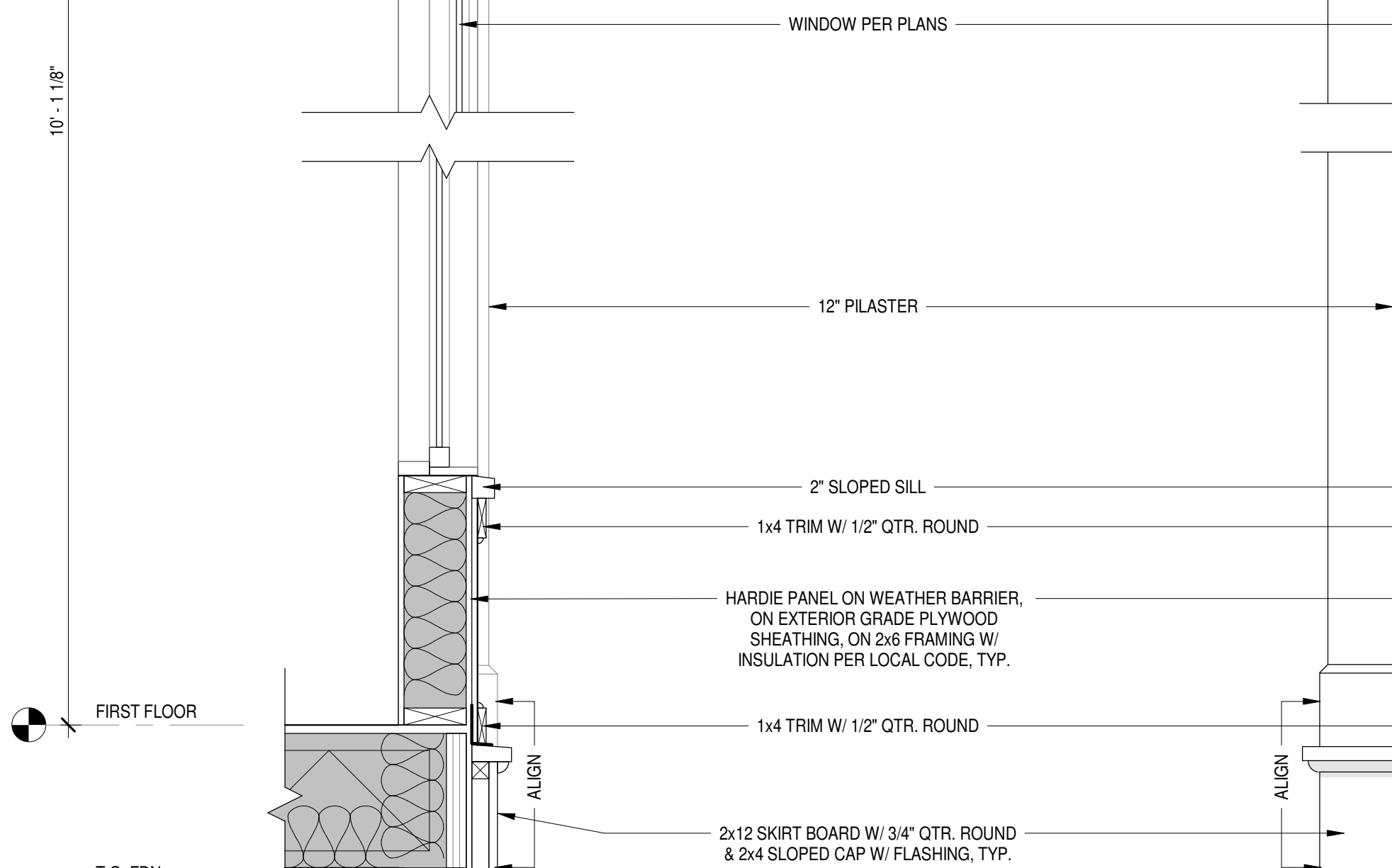
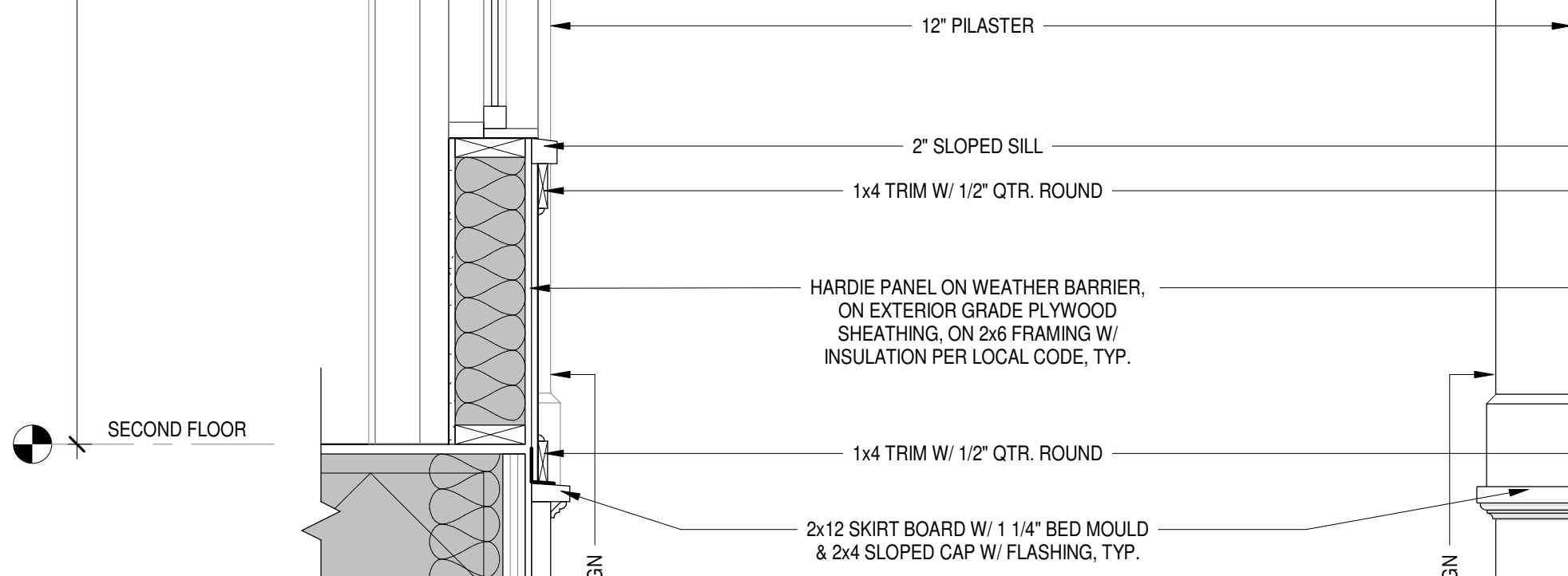
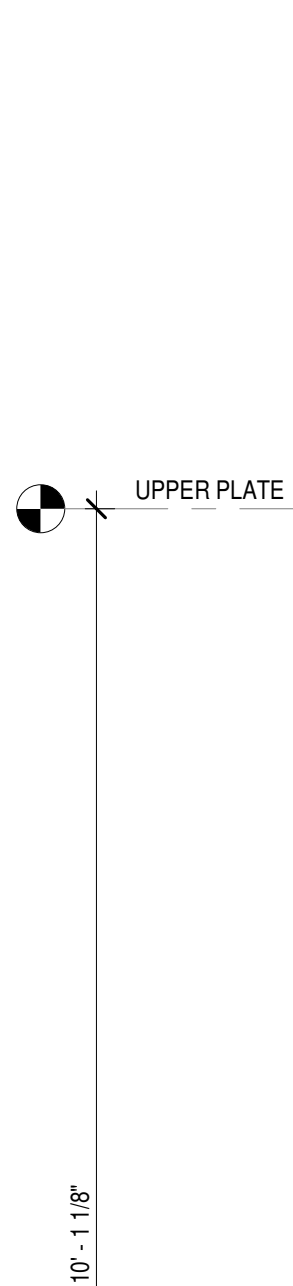


BREAKAWAY PANEL ASSEMBLY:
P.T. 1x2 EXTERIOR FRAME
P.T. 1x4 MULLIONS (SEE ELEV.)
P.T. 1x6 HOG BOARDS W/ 1/2" SPACING
P.T. 2x2 INTERIOR FRAME



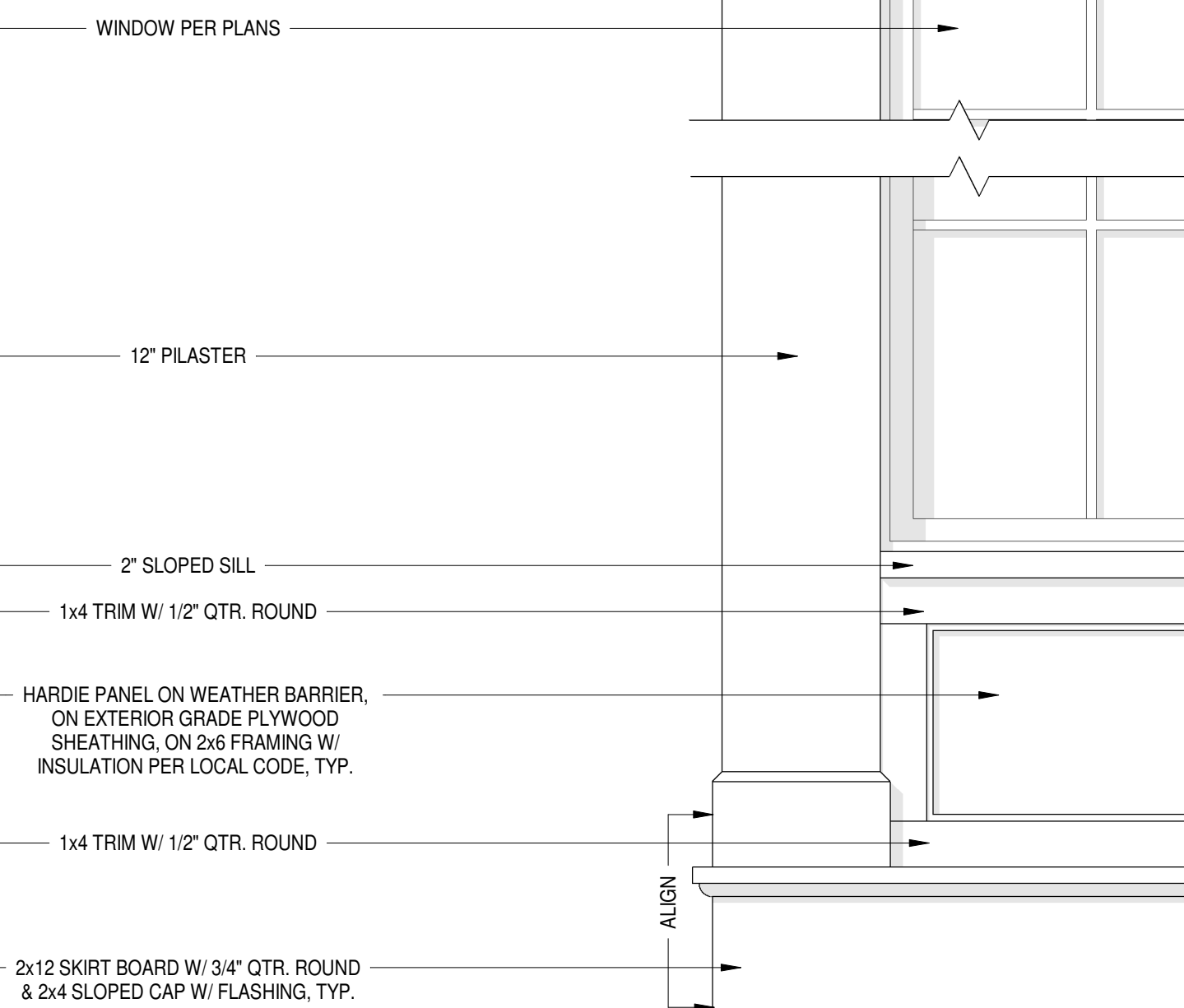
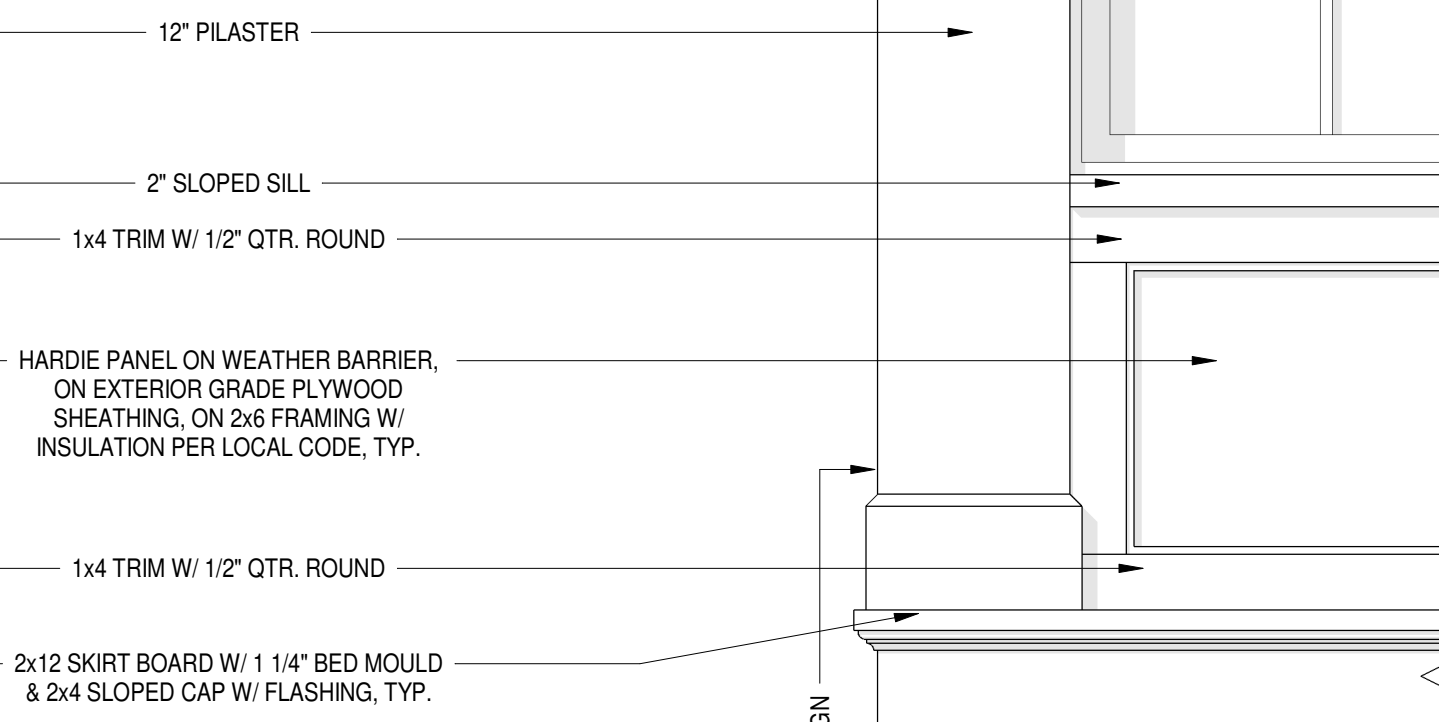
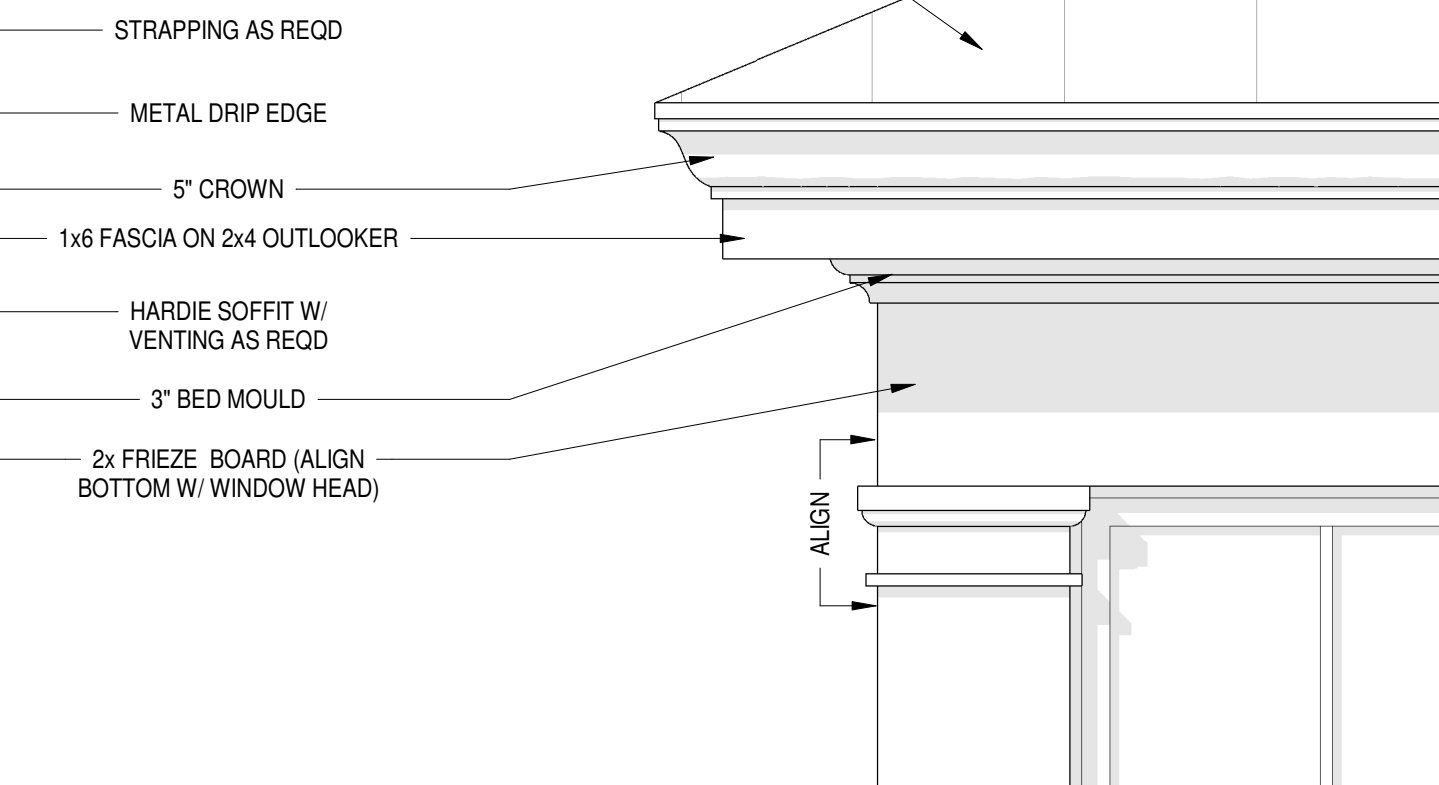
NOTE:
SEE STRUCTURAL PLANS
FOR MORE INFORMATION

A TYPICAL WALL SECTION
A3.02 1" = 1'-0"



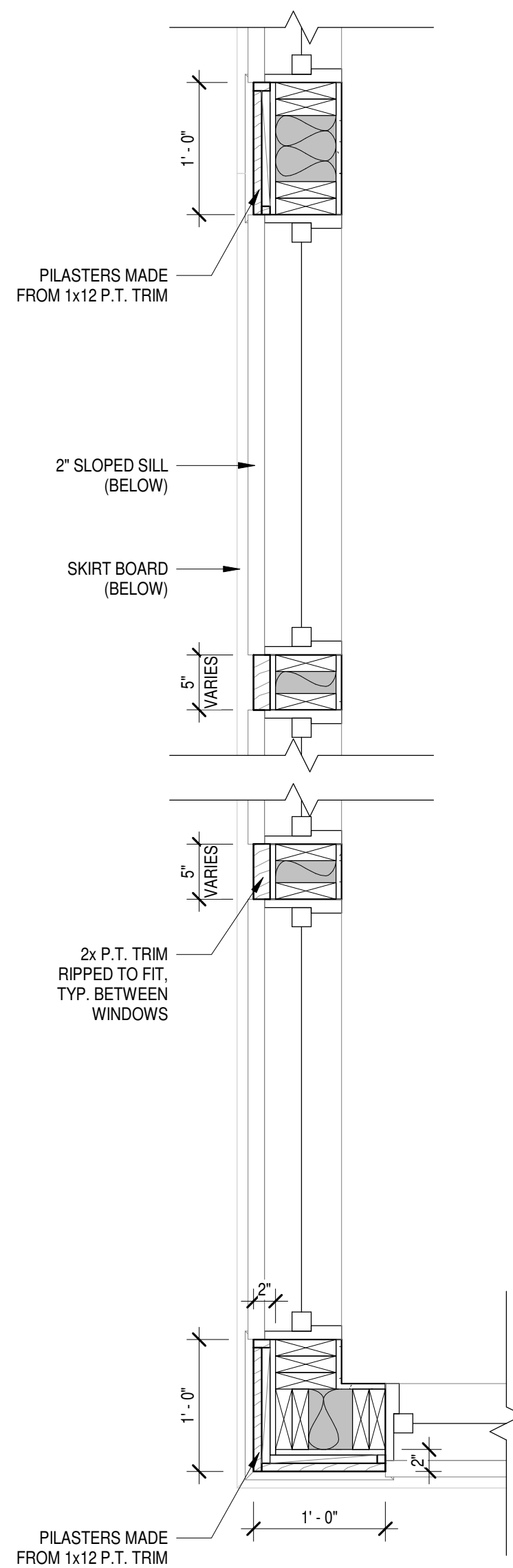
B WALL SECTION AT WINDOW PANELING
B3.02 1" = 1'-0"

TYPICAL ROOF ASSEMBLY:
STANDING SEAM METAL ROOF W/ ICE &
WATER SHIELD ON #30 FELT
UNDERLAYMENT ON EXTERIOR GRADE
PLYWOOD SHEATHING W/ BATT
INSULATION PER CODE, TYP.



C WINDOW PANELING DETAIL
C3.02 1" = 1'-0"

NOTE:
ANY ADJUSTMENTS TO THE FLOOR TRUSSES/FRAMING
THAT WILL AFFECT EXTERIOR AESTHETICS NEEDS TO
BE REVIEWED AND APPROVED BY THE DESIGN TEAM.



D PILASTER DETAIL
D3.02 1" = 1'-0"

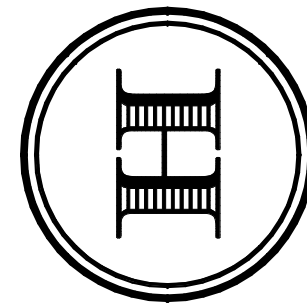


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ARCHITECTURE & PLANNING

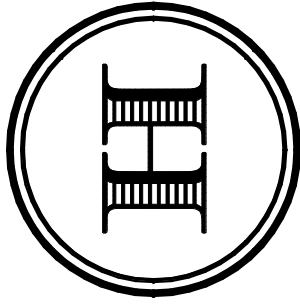
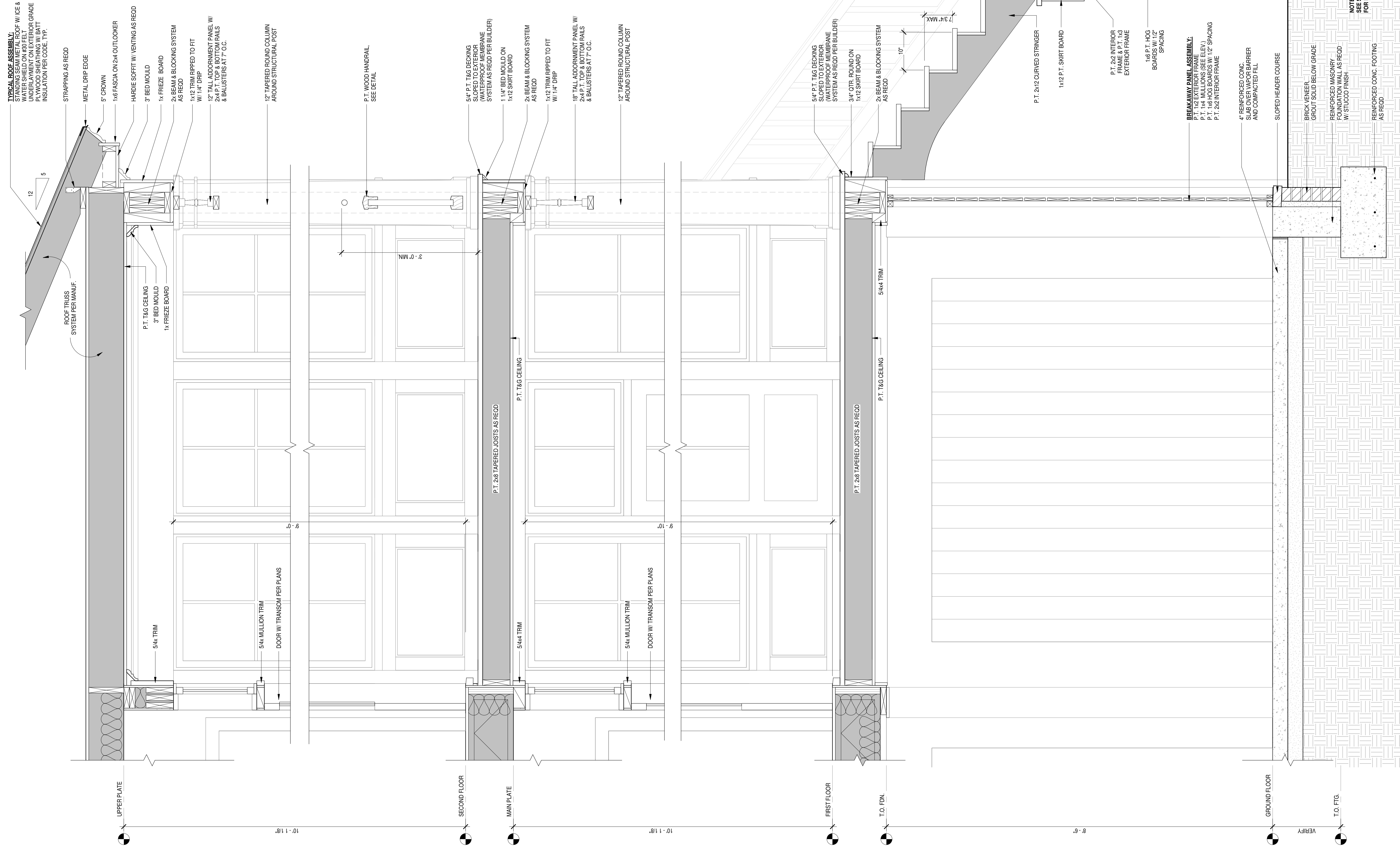
Crane Island - Lot 109
Fernandina Beach, Florida

**WALL SECTIONS
& DETAILS**

DRAWING BY
EAB
DATE
02/14/22
PROJECT NUMBER
Lot 109

A3.02

NOTE:
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THAT WILL AFFECT EXTERIOR AESTHETICS NEEDS TO
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HISTORICAL CONCEPTS
ARCHITECTURE & PLANNING

Crane Island - Lot 109
Fernandina Beach, Florida

WALL SECTIONS
& DETAILS

DRAWING BY
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Lot 109

A3.03



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A WALL SECTION AT STACKED PORCHES

1" = 1'-0"

Diagram illustrating the cross-section of a window installation, showing the following components and their assembly:

- PILASTER (BEYOND)
- 1x12 SKIRT BOARD W/ 3/4" QTR. ROUND & 2x4 SLOPED CAP W/ FLASHING ON 2x BLOCKING, TYP.
- ENGINEERED WOOD FLOOR SYSTEM W/ INSULATION PER CODE
- P.T. SILL PLATE
- 2" BED MOULD
- TIMBER LINTEL
- 1x8 TRIM
- 1x3 TRIM

Architectural floor plan of an attic space. The plan shows a central rectangular area labeled "ATTIC VENT AS REQD." surrounded by a thick structural border. The overall dimensions of the space are 14'-2 1/2" by 14'-2 1/2".

Vents and Annotations:

- Four "3-6 x 2-0 DECO. VENT." are located on the perimeter walls.
- Two "2-10 x 2-0 DECO. VENT., TYP." are located on the left and right walls.
- Two "2'-0"- Text "ATTIC VENT AS REQD." is centered in the main area.

Dimensions:

- Overall width: 14'-2 1/2"
- Overall height: 14'-2 1/2"
- Top wall opening: 2'-0"
- Bottom wall opening: 2'-0"
- Left wall vent spacing: 2'-1", 2'-6 1/2", 4'-7 1/2"
- Right wall vent spacing: 2'-1", 2'-6 1/2", 4'-7 1/2"
- Top wall vent spacing: 1'-9", 3'-3 1/4", 3'-3 1/4", 3'-3 1/4", 1'-9"
- Bottom wall vent spacing: 1'-9", 3'-3 1/4", 3'-3 1/4", 3'-3 1/4", 1'-9"
- Central area width: 12'-7"
- Central area height: 10'-7"

Section Markers:

- Section C-A3.01: Indicated by a circle with "C" and "A3.01" and a line pointing to the top wall.
- Section A-A3.01: Indicated by a circle with "A" and "A3.01" and a line pointing to the left wall.
- Section B-A3.04: Indicated by a circle with "B" and "A3.04" and a line pointing to the bottom wall.

Architectural elevation drawing showing a brick pier and wall section. The pier is constructed of 24"x24" brick veneer and is topped with a decorative stone finial. The wall is constructed of 8" thick brick veneer and features a brick cap. The drawing includes dimensions for the pier height (4'-10" and 5'-6") and the wall height (3'-6").

Labels and dimensions:

- DECORATIVE STONE FINIAL BY OTHERS
- SLOPED METAL FLASHING
- 2 ROWLOCK COURSES, OFFSET 1" FROM FACE
- 24"x24" BRICK VENEER PIER
- 3'-6"
- 5'-6"
- 4'-10"
- BRICK CAP
- 8" THICK BRICK VENEER WALL

Technical drawing of a corner trim detail. The drawing shows a cross-section of a corner where a vertical trim piece meets a horizontal trim piece. The vertical trim piece is labeled "5/4x6 TRIM RIPPED TO FIT, TYP." and has a height dimension of "2' - 10\"/>


Technical drawing illustrating the connection between a roof structure and a wall, showing a cross-section and an elevation view.

Labels and Callouts:

- 12
- 2
- 2x6 RAFTERS & CLG. JOISTS AS REQD
- STRAPPING AS REQD PER STRUCTURAL ENGINEER
- METAL DRIP EDGE
- 5" CROWN
- 5/4x8 FRIEZE BOARD
- MIN. O.H.
- 2x TURNED STUDS AS REQD
- 24" TALL DECORATIVE VENT OF SYNTHETIC TRIM MATERIAL
- 2x2 SLOPED SILL
- FLASHING AS REQD
- 2x4 STUDS @ 16" O.C.
- 5/4x8 CORNER TRIM

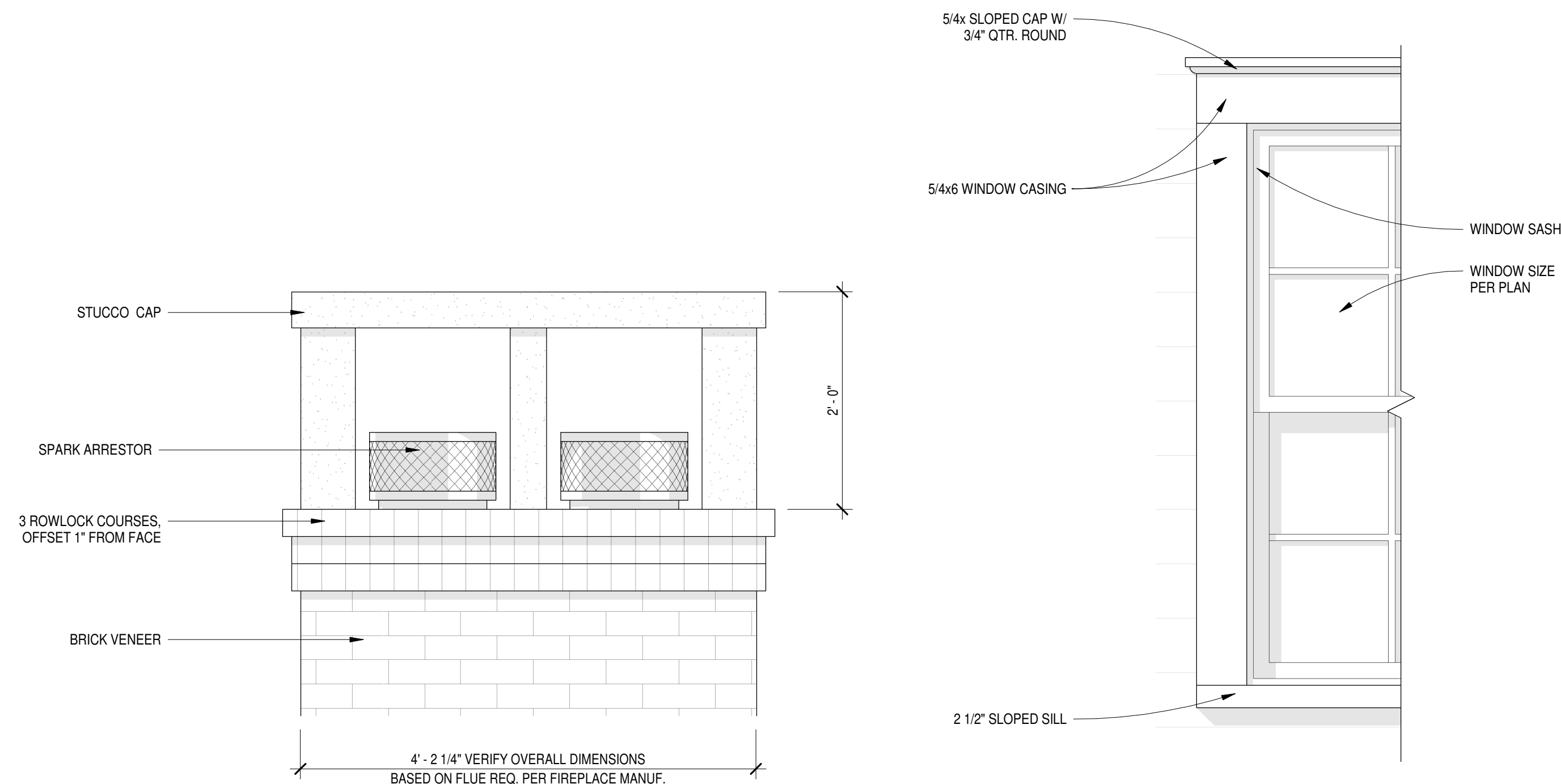

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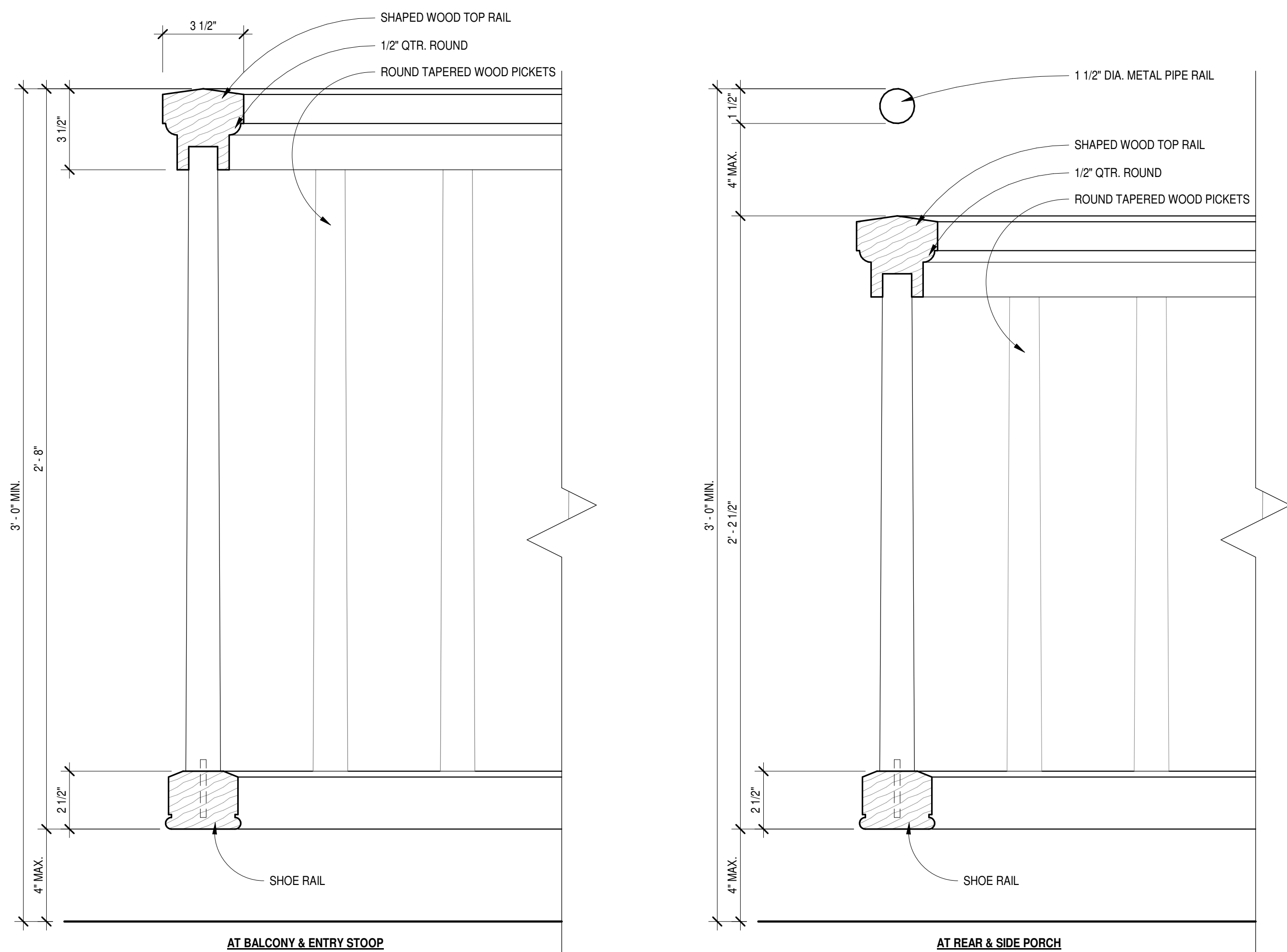
Crane Island - Lot 109
Fernandina Beach, Florida

A3.04



A CHIMNEY CAP DETAIL
A3.05 1" = 1'-0"

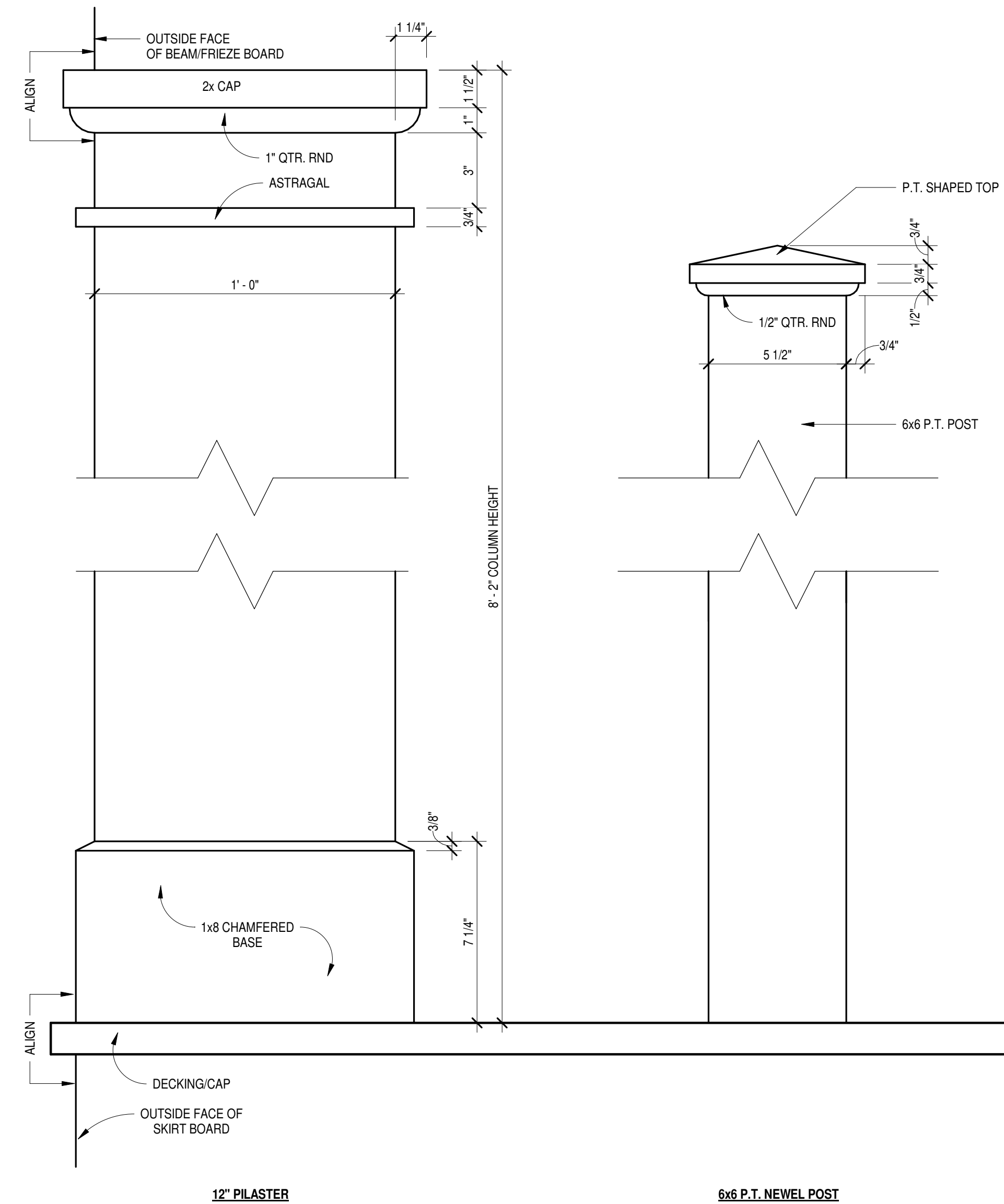
B TYPICAL EXTERIOR WINDOW TRIM
A3.05 1" = 1'-0"



C EXTERIOR HANDRAIL DETAILS
A3.05 3" = 1'-0"

D AT REAR & SIDE PORCH

NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS
FOR ALL ITEMS THIS SHEET TO DESIGN TEAM
PRIOR TO PURCHASE & FABRICATION.



D PILASTER & NEWEL POST DETAILS
A3.05 3" = 1'-0"

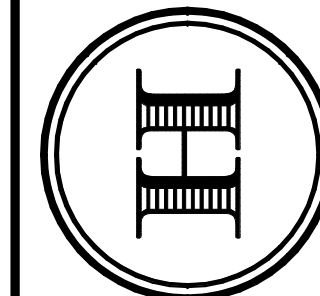


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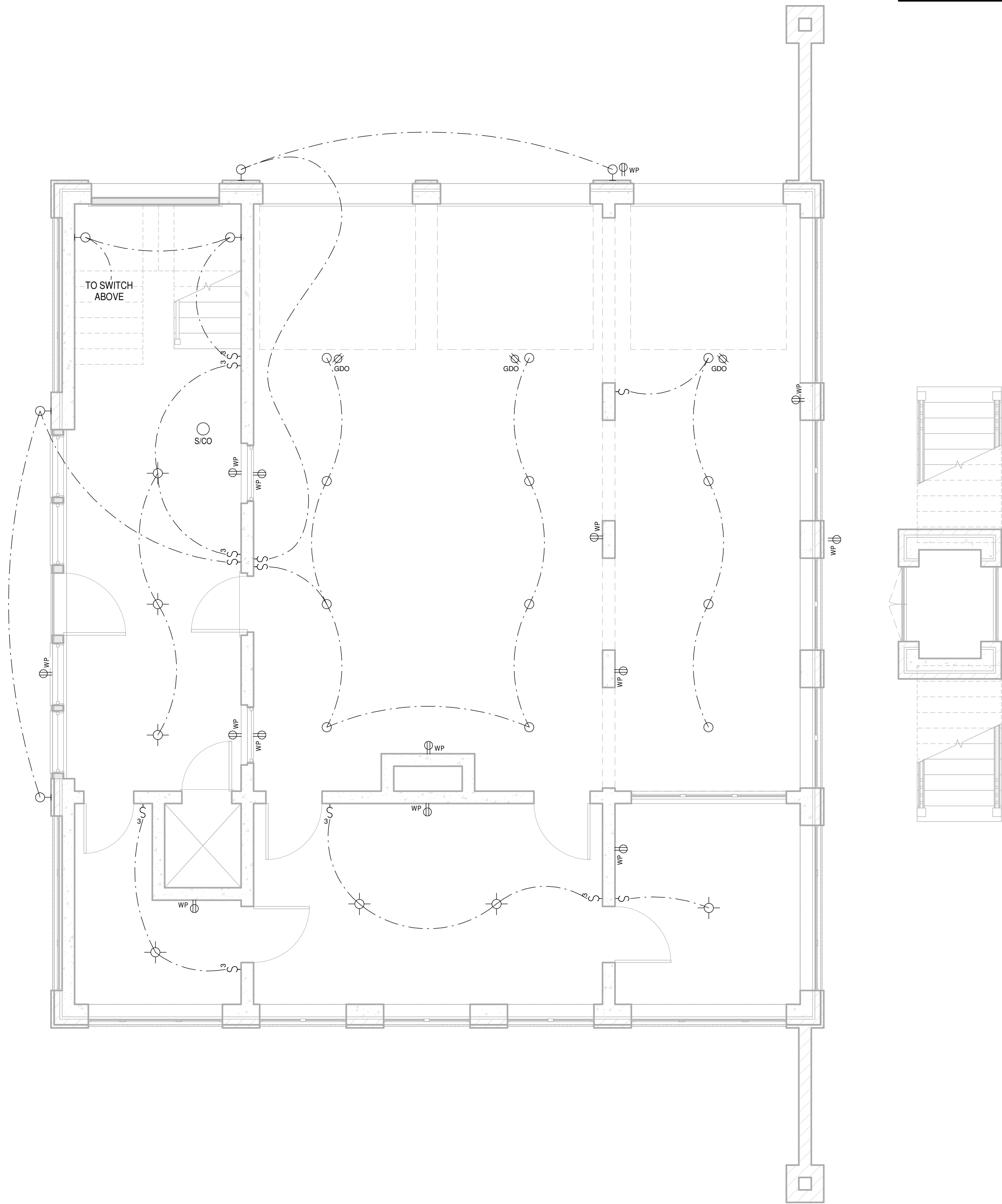
HISTORICAL CONCEPTS
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Crane Island - Lot 109
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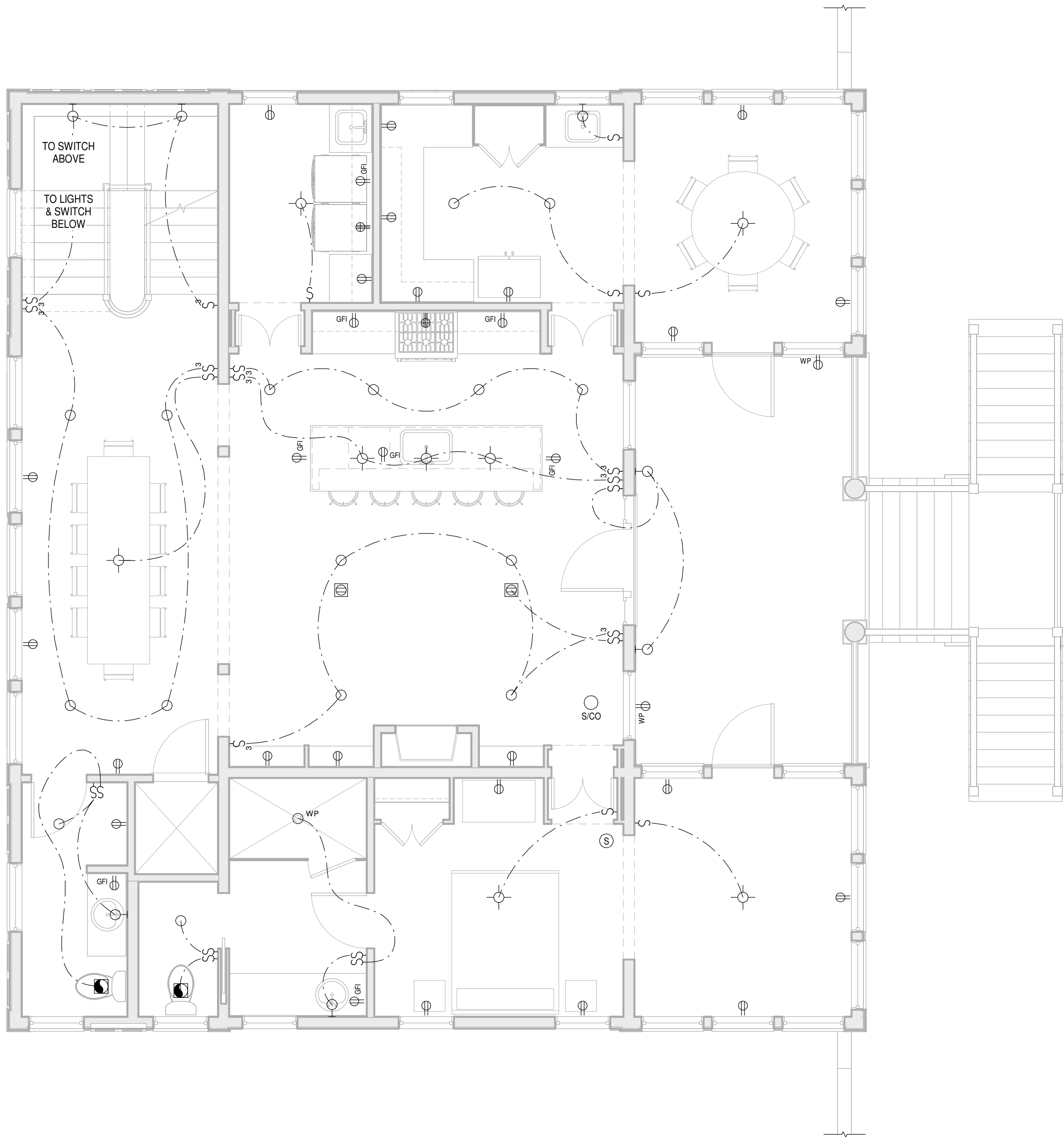
DETAILS

DRAWING BY: EAB
DATE: 02/14/22
PROJECT NUMBER: Lot 109

A3.05



A GROUND FLOOR ELECTRICAL PLAN
E1.01 1/4" = 1'-0"



B FIRST FLOOR ELECTRICAL PLAN
E1.01 1/4" = 1'-0"

ELECTRICAL SYMBOL KEY

	LIGHT FIXTURE - CEILING MOUNTED		SMOKE/CO DETECTOR		DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTER
	LIGHT FIXTURE - WALL MOUNTED		LIGHT SWITCH - SINGLE		DUPLEX RECEPTACLE - WATER PROOF
	LIGHT FIXTURE - RECESSED CAN		LIGHT SWITCH - 3-WAY		DUPLEX RECEPTACLE - 220V
	CEILING FAN		DUPLEX RECEPTACLE (OUTLET)		DUPLEX RECEPTACLE - FLOOR MOUNTED
	EXHAUST FAN		DUPLEX RECEPTACLE (OUTLET)		DUPLEX RECEPTACLE - GARAGE DOOR OPENER

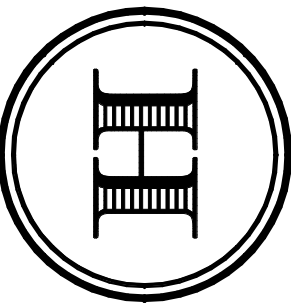
ELECTRICAL NOTES:
- THESE ELECTRICAL PLANS ILLUSTRATE SUGGESTED LIGHT FIXTURE LAYOUTS IN A DIAGRAMMATIC MANNER. CARBON MONOXIDE DETECTORS AND OTHER CODE REQUIRED ELECTRICAL ITEMS ARE NOT INDICATED ON THESE PLANS. ELECTRICAL CONTRACTOR SHALL WORK WITH OWNER TO DEVELOP A DETAILED CODE-COMPLYING ELECTRICAL PLAN.
- MINIMUM RECEPTACLE LOCATIONS ARE INDICATED ON THESE PLANS. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL RECEPTACLE LOCATIONS AS REQUIRED TO MEET CODE.
- VERIFY LOCATIONS OF OUTLETS MOUNTED IN EXTERIOR CEILINGS AND OVERHANGS FOR HOLIDAY LIGHTS W/ OWNER.
- VERIFY LOCATIONS OF FLOOR OUTLETS, DIMMERS, AND EXTERIOR FLOOD LIGHTS W/ OWNER.
- VERIFY TV PLACEMENT LOCATIONS FOR ELECTRICAL OUTLETS W/ OWNER.
- PROVIDE UNDER-CABINET LIGHTS AND SWITCHES IN KITCHEN PER OWNER.
- REVIEW ALL ELECTRICAL FIXTURE LOCATIONS AND ELECTRICAL SYSTEMS DESIGN W/ OWNER.



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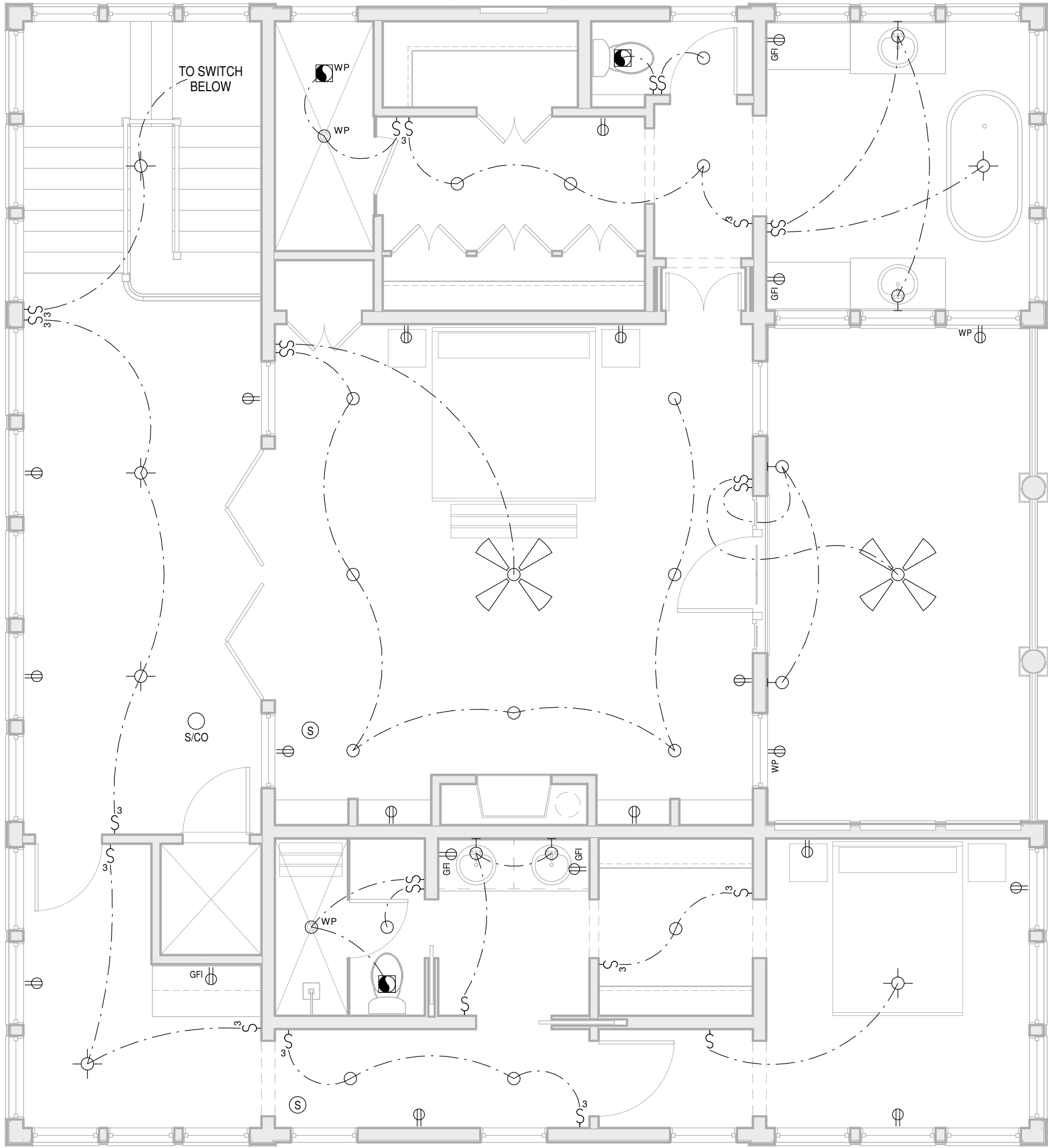
ELECTRICAL
PLANS

DRAWING BY
EAB
DATE
02/14/22
PROJECT NUMBER
Lot 109

E1.01

ELECTRICAL SYMBOL KEY					
	LIGHT FIXTURE - CEILING MOUNTED		SMOKE/CO DETECTOR		DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTER
	LIGHT FIXTURE - WALL MOUNTED		LIGHT SWITCH - SINGLE		DUPLEX RECEPTACLE - WATER PROOF
	LIGHT FIXTURE - RECESSED CAN		LIGHT SWITCH - 3-WAY		DUPLEX RECEPTACLE - 220V
	CEILING FAN		DUPLEX RECEPTACLE (OUTLET)		DUPLEX RECEPTACLE - FLOOR MOUNTED
	EXHAUST FAN		DUPLEX RECEPTACLE (OUTLET)		DUPLEX RECEPTACLE - GARAGE DOOR OPENER

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 - VERIFY TV PLACEMENT LOCATIONS FOR ELECTRICAL OUTLETS W/ OWNER.
 - PROVIDE UNDER-CABINET LIGHTS AND SWITCHES IN KITCHEN PER OWNER.
 - REVIEW ALL ELECTRICAL FIXTURE LOCATIONS AND ELECTRICAL SYSTEMS DESIGN W/ OWNER.



A
E1.02
1/4" = 1'-0"

SECOND FLOOR ELECTRICAL PLAN